

PARCEL# R06011-002-018-000  
 ADDRESS: 2130 S 17TH ST  
 OWNER: CAMERON COMPANY LLC  
 USE: MEDICAL AND HEALTH  
 ZONE: CB-COMMUNITY BUSINESS

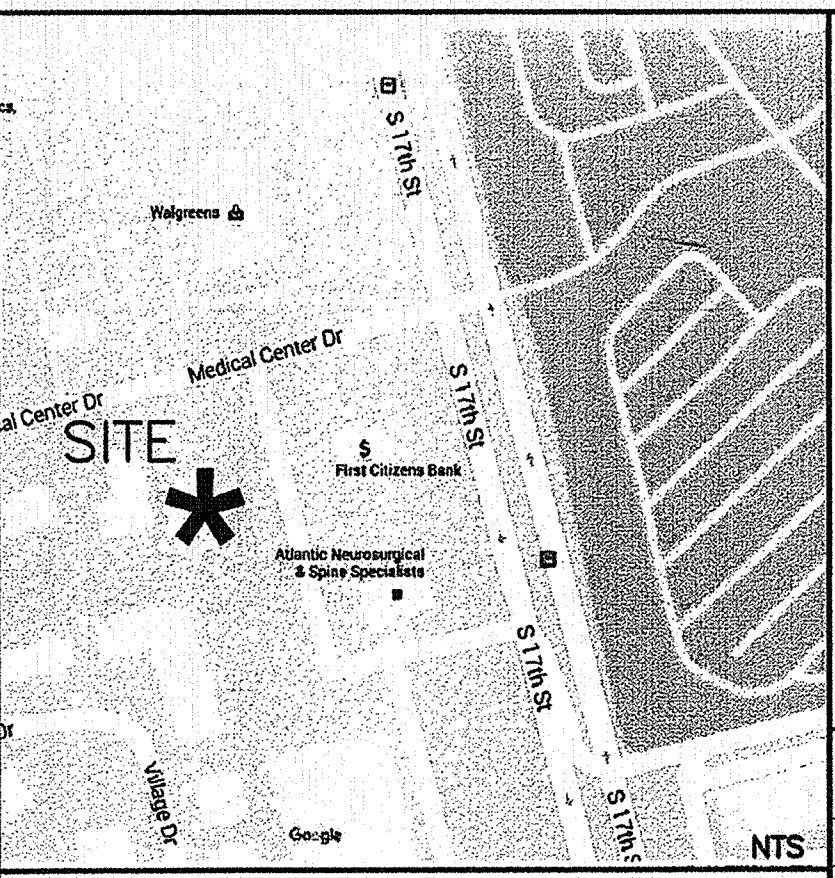
PARCEL# R06011-003-007-001  
 ADDRESS: 1510 MEDICAL CENTER DR.  
 OWNER: MEDICAL CTR DR ASSOCIATES LLC  
 USE: PHYSICIAN  
 ZONE: O&I-1 OFFICE & INSTITUTIONAL

PARCEL# R06011-003-005-000  
 ADDRESS: 2200 S 17TH ST  
 OWNER: FIRST CITIZENS BANK & TRUST CO.  
 USE: BANK  
 ZONE: CB-COMMUNITY BUSINESS

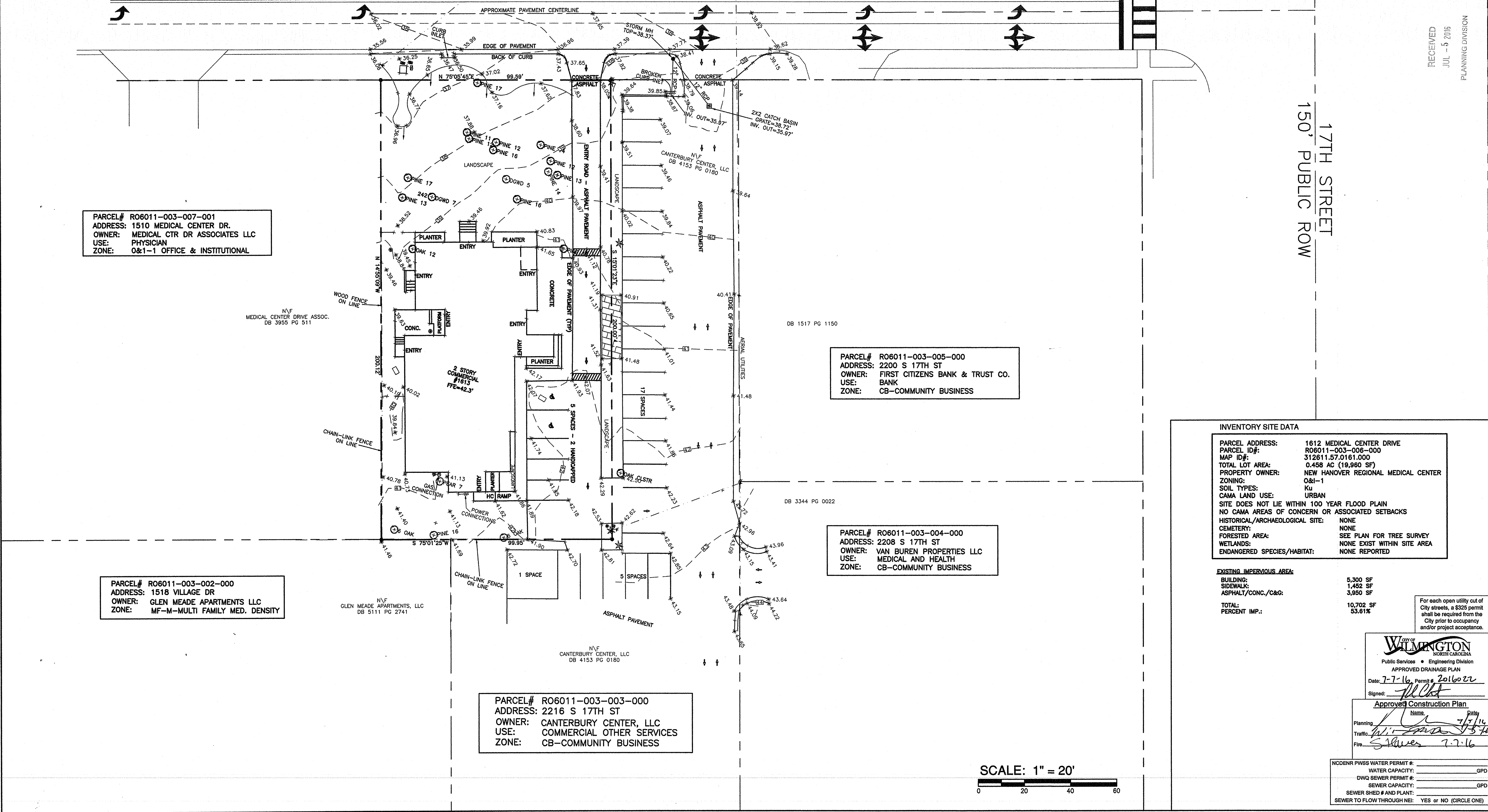
PARCEL# R06011-003-004-000  
 ADDRESS: 2208 S 17TH ST  
 OWNER: VAN BUREN PROPERTIES LLC  
 USE: MEDICAL AND HEALTH  
 ZONE: CB-COMMUNITY BUSINESS

PARCEL# R06011-003-002-000  
 ADDRESS: 1518 VILLAGE DR  
 OWNER: GLEN MEADE APARTMENTS LLC  
 ZONE: MF-M-MULTI FAMILY MED. DENSITY

PARCEL# R06011-003-003-000  
 ADDRESS: 2216 S 17TH ST  
 OWNER: CANTERBURY CENTER, LLC  
 USE: COMMERCIAL OTHER SERVICES  
 ZONE: CB-COMMUNITY BUSINESS



VICINITY MAP



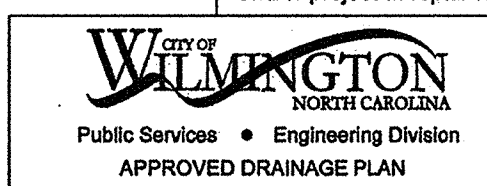
INVENTORY SITE DATA

PARCEL ADDRESS:	1612 MEDICAL CENTER DRIVE
PARCEL ID#:	R06011-003-006-000
MAP ID#:	312611.57.0161.000
TOTAL LOT AREA:	0.458 AC (19,960 SF)
PROPERTY OWNER:	NEW HANOVER REGIONAL MEDICAL CENTER
ZONING:	O&I-1
SOIL TYPES:	Ku
CAMA LAND USE:	URBAN
SITE DOES NOT LIE WITHIN 100 YEAR FLOOD PLAN	
NO CAMA AREAS OF CONCERN OR ASSOCIATED SETBACKS	
HISTORICAL/ARCHAEOLOGICAL SITE:	NONE
CEMETERY:	NONE
FORESTED AREA:	SEE PLAN FOR TREE SURVEY
WETLANDS:	NONE EXIST WITHIN SITE AREA
ENDANGERED SPECIES/HABITAT:	NONE REPORTED

EXISTING IMPERVIOUS AREA:

BUILDING:	5,300 SF
SIDEWALK:	1,452 SF
ASPHALT/CONC./C&G:	3,950 SF
TOTAL:	10,702 SF
PERCENT IMP.:	53.61%

For each open utility cut of City streets, a \$320 permit shall be required from the City prior to occupancy and/or project acceptance.

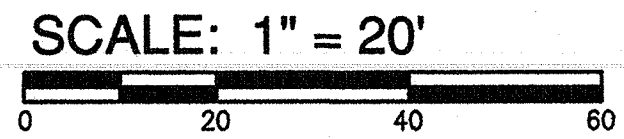


APPROVED DRAINAGE PLAN  
 Date: 7-7-16, Permit # 2016022  
 Signed: [Signature]

Approved Construction Plan  
 Name: [Name], Date: 7-7-16

Planning: [Signature], Date: 7-7-16  
 Traffic: [Signature], Date: 7-7-16  
 Fire: [Signature], Date: 7-7-16

NCDCNR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES OR NO (CIRCLE ONE)



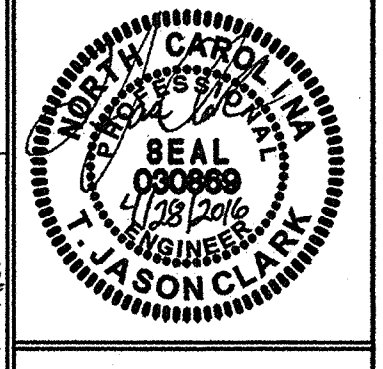
SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

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 RECEIVED JUL - 5 2016  
 PLANNING DIVISION

OWNER/DEVELOPER  
 NHRMC  
 PO BOX 9000  
 WILMINGTON, NC 28402  
 910-343-2788

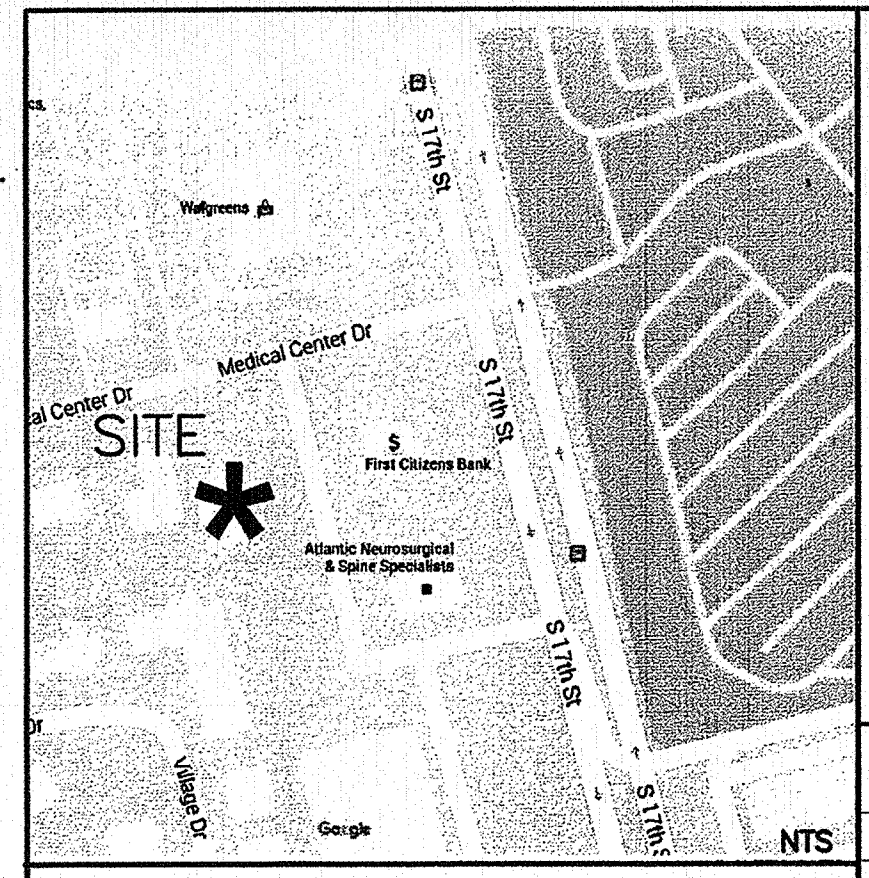
NORRIS & TUNSTALL  
 CONSULTING ENGINEERS, P.C.  
 902 MARKET STREET  
 WILMINGTON, NC 28401  
 PHONE (910) 343-9653  
 LICENSE #C-3541

16031  
 DES. JST  
 OKD. JPN  
 DRWN. NKS  
 DATE 4/28/16



PARCEL# R06011-002-018-000  
 ADDRESS: 2130 S 17TH ST  
 OWNER: CAMERON COMPANY LLC  
 USE: MEDICAL AND HEALTH  
 ZONE: CB-COMMUNITY BUSINESS

\*NOTE: EXISTING INV. IS FROM FIELD MEASUREMENT AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.



VICINITY MAP

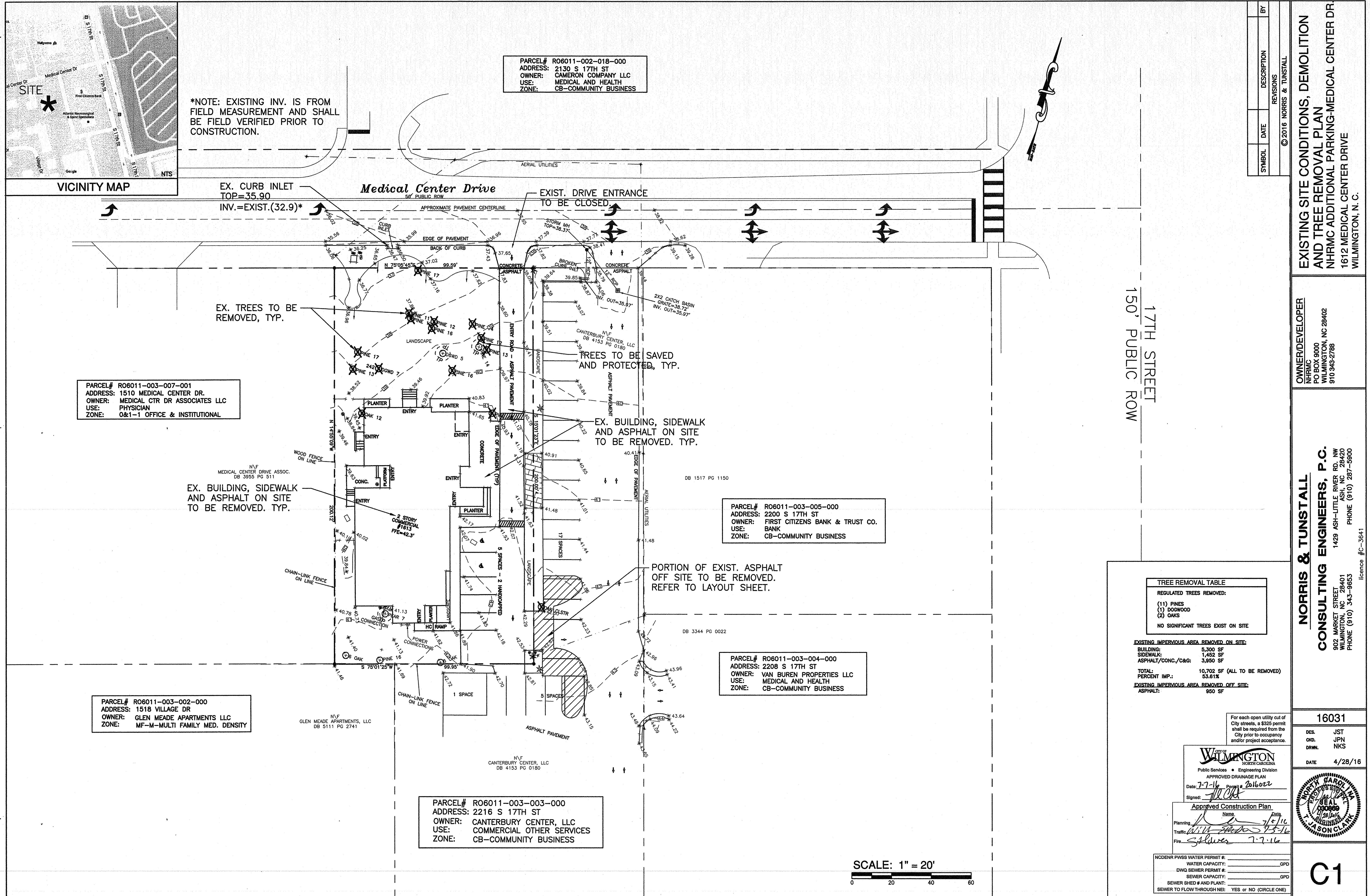
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PARCEL# R06011-003-002-000  
 ADDRESS: 1518 VILLAGE DR  
 OWNER: GLEN MEADE APARTMENTS LLC  
 ZONE: MF-M-MULTI FAMILY MED. DENSITY

PARCEL# R06011-003-003-000  
 ADDRESS: 2216 S 17TH ST  
 OWNER: CANTERBURY CENTER, LLC  
 USE: COMMERCIAL OTHER SERVICES  
 ZONE: CB-COMMUNITY BUSINESS

PARCEL# R06011-003-005-000  
 ADDRESS: 2200 S 17TH ST  
 OWNER: FIRST CITIZENS BANK & TRUST CO.  
 USE: BANK  
 ZONE: CB-COMMUNITY BUSINESS

PARCEL# R06011-003-004-000  
 ADDRESS: 2208 S 17TH ST  
 OWNER: VAN BUREN PROPERTIES LLC  
 USE: MEDICAL AND HEALTH  
 ZONE: CB-COMMUNITY BUSINESS



17TH STREET  
 150' PUBLIC ROW

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

EXISTING SITE CONDITIONS, DEMOLITION AND TREE REMOVAL PLAN  
 NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR.  
 1612 MEDICAL CENTER DRIVE  
 WILMINGTON, N. C.

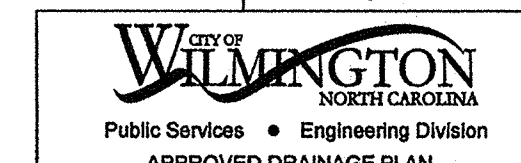
OWNER/DEVELOPER  
 NHRMC  
 PO BOX 9000  
 WILMINGTON, NC 28402  
 910-343-2788

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**CONSULTING ENGINEERS, P.C.**  
 902 MARKET STREET  
 WILMINGTON, NC 28401  
 PHONE (910) 343-9653  
 license #C-3641

TREE REMOVAL TABLE	
REGULATED TREES REMOVED:	
(1) PINES	
(1) DOGWOOD	
(2) OAKS	
NO SIGNIFICANT TREES EXIST ON SITE	

EXISTING IMPERVIOUS AREA REMOVED ON SITE:  
 BUILDING: 5,300 SF  
 SIDEWALK: 1,482 SF  
 ASPHALT/CONC./C&G: 3,950 SF  
 TOTAL: 10,702 SF (ALL TO BE REMOVED)  
 PERCENT IMP.: 53.61%  
 EXISTING IMPERVIOUS AREA REMOVED OFF SITE:  
 ASPHALT: 950 SF

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

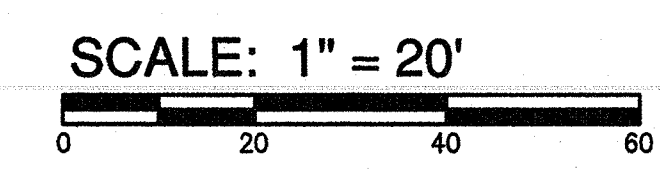


APPROVED DRAINAGE PLAN  
 Date: 7-7-16 Permit: 2016022  
 Signed: [Signature]  
 Approved Construction Plan  
 Name: [Signature] Date: 7/8/16  
 Traffic: [Signature] 7-5-16  
 File: [Signature] 7-7-16

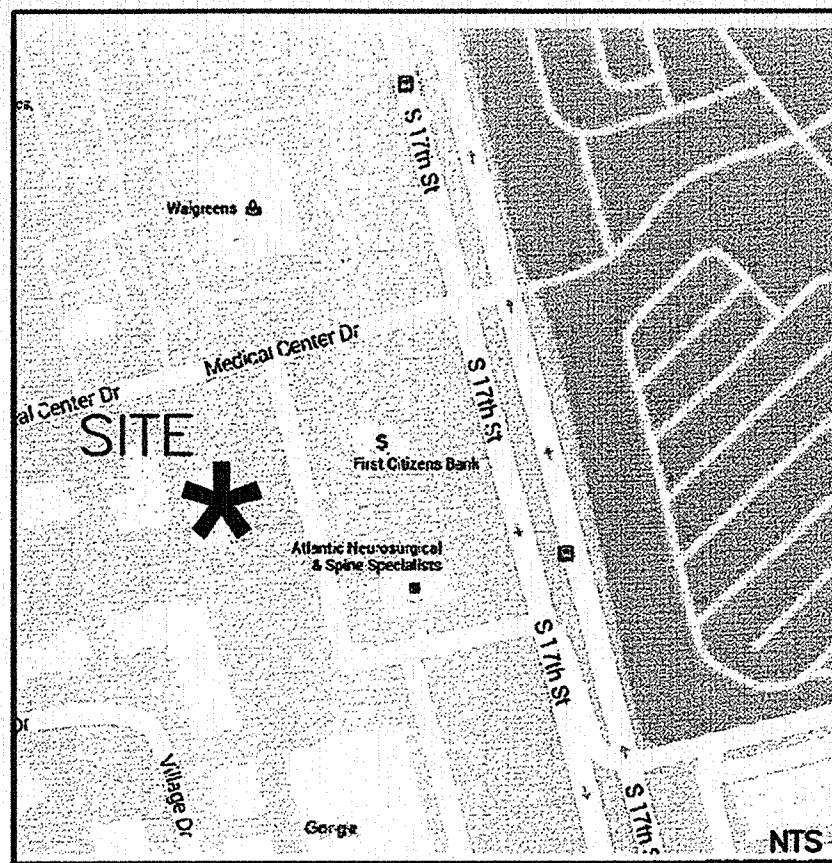
16031  
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 DATE 4/28/16



NC DENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DIWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEK:	YES OR NO (CIRCLE ONE)



C1



VICINITY MAP

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PARCEL# R06011-002-018-000  
 ADDRESS: 2130 S 17TH ST  
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STANDARD C.O.W.  
 DRIVE ENTRANCE

CONVERT EX. CI  
 TO A DROP INLET  
 TOP=35.90  
 INV.=EXIST.(32.9)\*

ADA ACCESSIBLE RAMP AND  
 PAVEMENT MARKINGS.

INSTALL TEMP. SILT FENCE.  
 PROVIDE ADDITIONAL AS  
 REQUIRED.

PARCEL# R06011-003-007-001  
 ADDRESS: 1510 MEDICAL CENTER DR.  
 OWNER: MEDICAL CTR DR ASSOCIATES LLC  
 USE: PHYSICIAN  
 ZONE: O&I-1 OFFICE & INSTITUTIONAL

DI-3  
 GRATE=37.52  
 INV.=34.20

EXIST. PARKING AREA AND  
 BUILDING LOCATIONS WERE  
 TAKEN BY FIELD MEASUREMENT  
 AND AERIAL PHOTOGRAPHY.

DI-2  
 GRATE=40.6  
 INV.=37.5

PARCEL# R06011-003-002-000  
 ADDRESS: 1518 VILLAGE DR  
 OWNER: GLEN MEADE APARTMENTS LLC  
 ZONE: MF-M-MULTI FAMILY MED. DENSITY

N/F  
 GLEN MEADE APARTMENTS, LLC  
 DB 5111 PG 2741

PARCEL# R06011-003-003-000  
 ADDRESS: 2216 S 17TH ST  
 OWNER: CANTERBURY CENTER, LLC  
 USE: COMMERCIAL OTHER SERVICES  
 ZONE: CB-COMMUNITY BUSINESS

SCALE: 1" = 20'

LEGEND

---	PROPERTY LINE
---	PROPOSED STORMDRAIN PIPE
○	SPOT ELEVATION AT FLOWLINE OF CURB. (TOP OF CURB +6")
○	DROP INLET WITH INLET PROTECTION (DI)
○	CURB INLET WITH INLET PROTECTION (CI)
○	EXISTING TREE TO BE SAVED AND PROTECTED
○	EXISTING TREE TO BE REMOVED
- TP - - TP - - TP - - TP - -	TREE PROTECTION FENCING

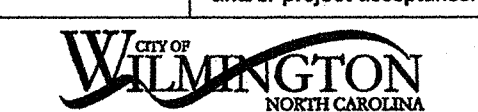
CONDITIONS OF SPECIAL USE PERMIT

1. THE APPLICANT SHALL FULLY COMPLY WITH ALL OF THE SPECIFIC REQUIREMENTS STATED IN THE LAND DEVELOPMENT CODE FOR THE PROPOSED USE AS WELL AS ANY ADDITIONAL CONDITIONS STATED BELOW.
2. IF ANY SECTION, SUBSECTION, PARAGRAPH, SENTENCE, CLAUSE, PHRASE OR PORTION OF THIS PERMIT IS FOR ANY REASON HELD INVALID OR UNCONSTITUTIONAL BY ANY COURT OF COMPETENT JURISDICTION, THIS SPECIAL USE PERMIT SHALL BE NULL AND VOID AND OF NO EFFECT.
3. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE SITE PLAN AS SUBMITTED AND APPROVED.
4. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL OTHER SUPPLEMENTAL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE OR ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATION. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
5. THE PERMIT SHALL BE LIMITED TO A 35-SPACE COMMERCIAL PARKING LOT THAT WOULD SERVE AS STAFF PARKING FOR NEW HANOVER REGIONAL MEDICAL CENTER. ANY FUTURE EXPANSIONS OR ADDITIONS TO THE SITE ARE SUBJECT TO MODIFICATIONS TO THE SUP.
6. APPROVAL OF THIS SPECIAL USE PERMIT DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. ALL TECHNICAL REVIEW COMMITTEE COMMENTS SHALL BE FOLLOWED PRIOR TO ISSUANCE OF A CONSTRUCTION RELEASE OR FINAL ZONING APPROVAL.
7. ALL CONDITIONS OF SEC. 18-258 SHALL BE MET PRIOR TO ISSUANCE OF CONSTRUCTION RELEASE.
8. ALL CITY, STATE AND FEDERAL REGULATIONS SHALL BE MET.

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 OWNER: VAN BUREN PROPERTIES LLC  
 USE: MEDICAL AND HEALTH  
 ZONE: CB-COMMUNITY BUSINESS

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN

Date: 7-7-16 Permit # 2016022  
 Signed: [Signature]

Approved Construction Plan  
 Name: [Name] Date: 7/5/16  
 Planning: [Signature] Traffic: [Signature] Fire: [Signature]

NC DENR PWSS WATER PERMIT #:	
WATER CAPACITY:	_____ GPD
DWO SEWER PERMIT #:	
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES OR NO (CIRCLE ONE)

PERMEABLE PAVEMENT CONSTRUCTION SEQUENCE:

1. The following is a typical construction sequence to properly install pervious concrete. The means and methods of installation shall be determined by the contractor and shall be installed per the manufacturer recommendations, product standards and industry guidelines.
2. Construction of the permeable pavement shall only begin after the entire contributing drainage area has been stabilized. The proposed site should be checked for existing utilities prior to any excavation. Do not install the system in rain or snow.
3. Temporary erosion and sediment (E&S) controls (silt fence) are needed during installation to divert stormwater away from the permeable pavement area until it is completed. The proposed permeable pavement area must be kept free from sediment during the entire construction process. Construction materials that are contaminated by sediments must be removed and replaced with clean materials.
4. Where possible, excavators or backhoes should work from the sides to excavate the aggregate layer to its appropriate design depth and dimensions.
5. In-situ soil testing shall be done after excavation to verify existing infiltration rate. Soils testing shall be conducted by an appropriately qualified professional, the testing can be done by the contractor, the designer, or a third party hired by owner. The results of the testing shall be given to the designer of record for review. If results show a lower infiltration rate than the rate of design the depth of aggregate must be revised.
6. The native soils along the bottom and sides of the permeable pavement system should be scarified or tilled to a depth of 3 to 4 inches prior to the placement of the filter layer or filter fabric.
7. Filter fabric should be installed on the bottom and the sides of the aggregate layer.
8. Place observation wells as shown on plans.
9. Inspect all aggregate prior to placement. Ensure aggregate is clean, free of fines and conform to the plans and specifications. All aggregate shall be spread (not dumped). Moisture and spread the washed stone without driving on the soil subgrade, being careful not to damage the observation wells. Follow compaction recommendations by the permeable pavement manufacturer or that from industry guidelines.
10. Ensure edge restraints and barriers between permeable pavement are installed per design.
11. Contractor is to follow standard installation procedures for the specific type of pervious pavement that is being installed. For this project pervious concrete will be installed. Only certified and experienced contractors shall install the pervious concrete and installation shall be per the manufacturer recommendations, product standards and industry guidelines. Pervious concrete shall be constructed in accordance with the latest version of ACI 522.1, Specifications for Pervious Concrete.
12. After installation, protect the installed pervious concrete until project completion, including routing construction traffic away from the installed pervious concrete. Contractor shall provide protection techniques including mats, plastic sheeting and barriers to ensure the pervious concrete remains protected until project completion.

NOTES:

1. A THREE-FOOT HIGH, 10 FOOT WIDE BUFFER IS REQUIRED IN THE FRONT YARD.
2. A LIGHTING PLAN SHALL BE PROVIDED SHOWING ALL OUTDOOR LIGHTING FIXTURES, TYPE AND WATTAGE. GLARE SHALL BE MINIMIZED THROUGH THE USE OF DIRECTIONAL FIXTURES.
3. ACCESS THROUGH RESIDENTIAL AREAS IS PROHIBITED.
4. THE STREETYARD REGULATIONS DEFINED IN THE CB ZONING DISTRICT APPLY.
5. SIX (6) PERCENT OF THE GROSS PARCEL AREA SHALL BE LANDSCAPED TO THE FOLLOWING STANDARDS:
  - LANDSCAPED AREAS SHALL BE EVENLY LOCATED AROUND THE PERIMETER OF THE PARCEL
  - ONE (1) TREE AND (6) SHRUBS SHALL BE PLANTED FOR EVERY FIFTEEN (15) PARKING SPACES
  - FIFTY (50) PERCENT OF TREES SHALL BE OF A SHADE/CANOPY VARIETY AS DEFINED IN THIS CHAPTER

ED SITE DATA TABLE

CURRENT USE:	MEDICAL OFFICE
PROPOSED USE:	NHRMC PARKING
SITE ADDRESS:	1612 MEDICAL CENTER DR.
PARCEL ID#:	R06011-003-006-000
MAP ID#:	312611.57.0161.000
PARCEL AREA:	0.458 AC (19,960) SF
ZONING:	O&I-1 OFFICE AND INSTITUTIONAL
CAMA LAND USE:	URBAN
SOILS:	KURET-HYDROLOGIC SOIL GROUP "A"
PARCEL NOT LOCATED WITHIN 100 YARD FLOOD ZONE	
BUILDING SETBACKS (REQUIRED):	FRONT SETBACK: 20' INTERIOR SIDE SETBACK: 10' CORNER SIDE SETBACK: 20' REAR SETBACKS: 20'
BUFFER REQUIRED:	20' ALONG MF-M BORDER
STREETYARD REQUIRED:	18 MULTIPLIER
OFF-SITE PARKING FOR NHRMC:	
PARKING REQUIREMENT HOSPITAL:	1 PER EACH 2 LICENSED BEDS INTENDED FOR PATIENT USE, 1 PER EACH STAFF PERSON, INCLUDING MEDICAL AND SUPPORT STAFF BASED ON THE LARGEST EMPLOYEE SHIFT.
	-NO NEW BEDS -NO NEW EMPLOYEES -NO EXISTING PARKING
PARKING PROPOSED:	34 SPACES
HC SPACES REQUIRED:	2 SPACES
HC SPACES PROPOSED:	2 SPACES
BICYCLE PARKING REQUIRED:	5
BICYCLE PARKING PROPOSED:	5
EXISTING IMPERVIOUS AREA:	
BUILDING:	5,300 SF
SIDEWALK:	1,452 SF
ASPHALT/CONC./C&G:	3,950 SF
TOTAL:	10,702 SF (ALL TO BE REMOVED)
PERCENT IMP.:	53.61%
PROPOSED IMPERVIOUS AREA:	
ASPHALT/CONC./C&G:	8,284 SF
SIDEWALK ON SITE:	118 SF
PERVIOUS PAVEMENT:	1,480 SF (AFTER 75% CREDIT 5,917 SF X 0.25)
TOTAL ON SITE:	9,882 SF
PERCENT IMP.:	49.49%
ASPHALT REMOVED OFF SITE:	950 SF
ASPHALT, CONCRETE, CURB AND GUTTER ADDED OFF SITE:	942 SF
NO TRASH REMOVAL SERVICE PROVIDED AS PART OF PARKING LOT PROJECT	

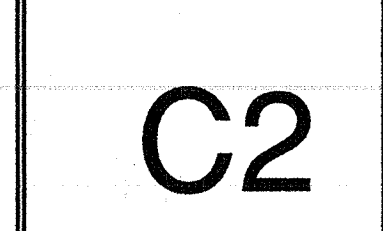
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 PO BOX 9000  
 WILMINGTON, NC 28402  
 910 343-2788

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C2

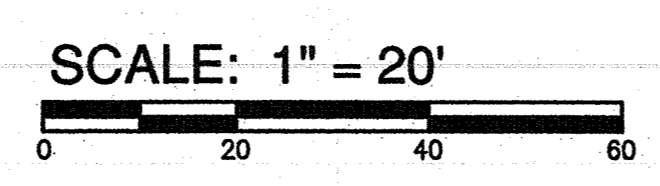
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NVF  
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**DRAINAGE AREA TABLE**

	TOTAL AREA	IMP. AREA
DA PC-1	2,500 SF	350 SF
DA PC-2	4,000 SF	233 SF
DA CI-1	2,044 SF	1,598 SF
*DA DI-2	14,810 SF	7,405 SF
DA DI-3	2,625 SF	2,625 SF
DA 4	400 SF	0 SF
DA CI-5	3,136 SF	3,136 SF

\*INCLUDES OFF SITE

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 ADDRESS: 2208 S 17TH ST  
 OWNER: VAN BUREN PROPERTIES LLC  
 USE: MEDICAL AND HEALTH  
 ZONE: CB-COMMUNITY BUSINESS

17TH STREET  
 150' PUBLIC ROW

Medical Center Drive  
 50' PUBLIC ROW

NOTE: (1) OBSERVATION WELL  
 REQUIRED IN EACH TERRACE IF  
 PERVIOUS CONCRETE BASE IS  
 TERRACED.

EXIST. PARKING AREA AND  
 BUILDING LOCATIONS WERE  
 TAKEN BY FIELD MEASUREMENT  
 AND AERIAL PHOTOGRAPHY.

SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
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**DRAINAGE AREA PLAN**  
 NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR.  
 1612 MEDICAL CENTER DRIVE  
 WILMINGTON, N. C.

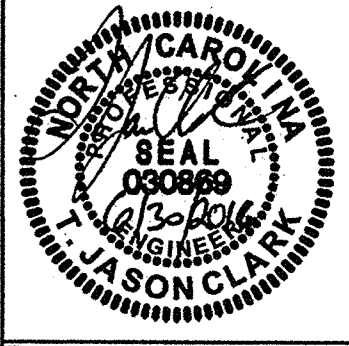
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**NORRIS & TUNSTALL**  
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 1429 ASH-LITTLE RIVER RD. NW  
 WILMINGTON, NC 28420  
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DATE 6/30/16

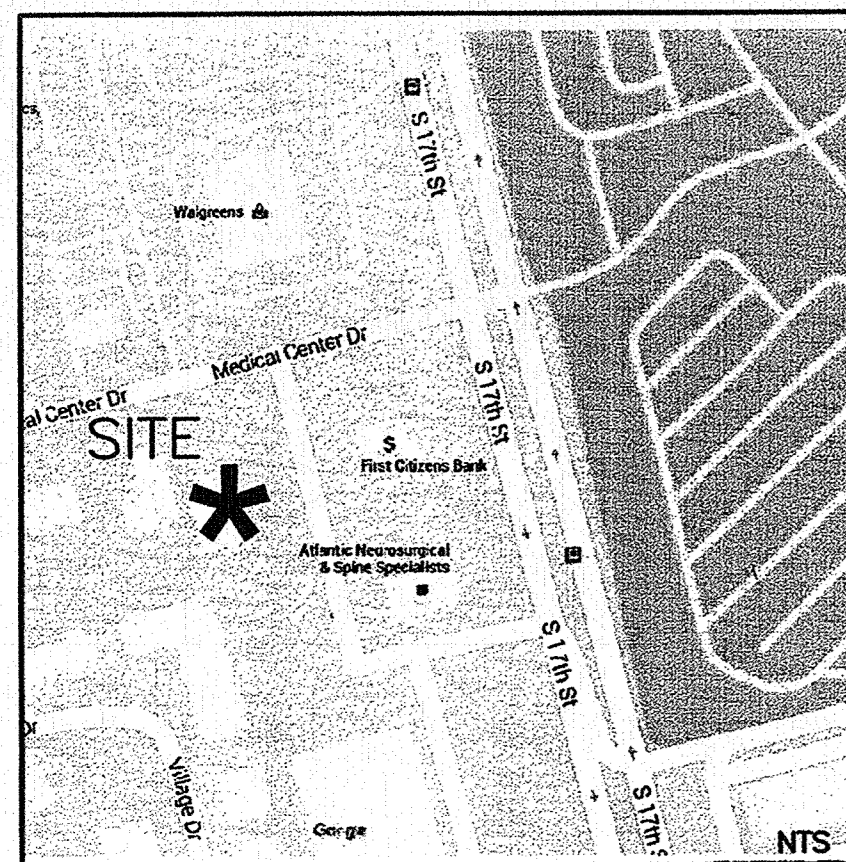


C2.1

For each open utility cut of City streets, a \$225 permit shall be required from the City prior to occupancy and/or project acceptance.

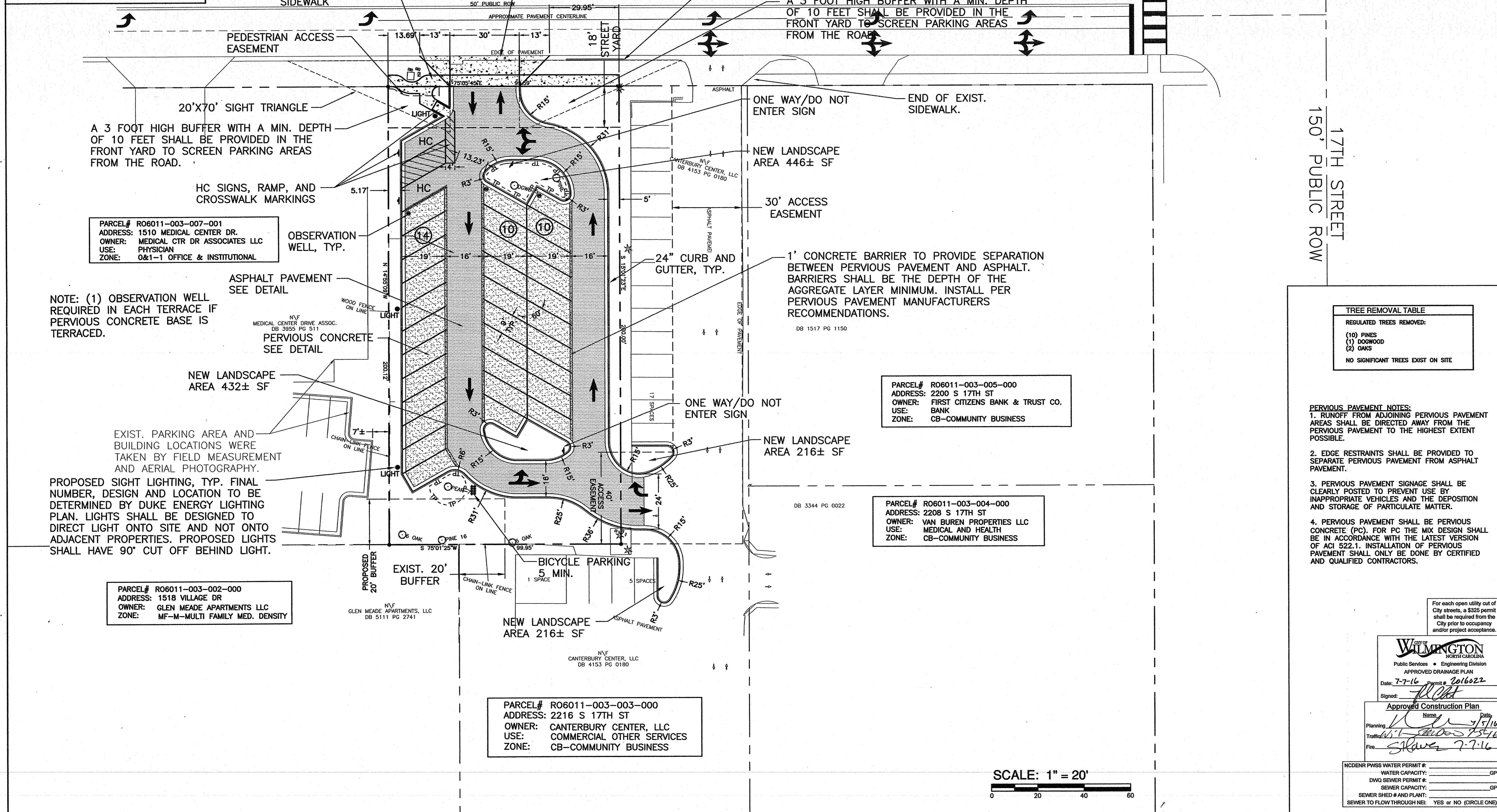
**City of WILMINGTON**  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: 7-7-16 Permit # 2016022  
 Signed: *[Signature]*  
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 Name: *[Signature]* Date: 7/7/16  
 Planning: *[Signature]* Date: 7/7/16  
 Traffic: *[Signature]* Date: 7-7-16  
 Fire: *[Signature]* Date: 7-7-16

NC DENR PWSS WATER PERMIT # \_\_\_\_\_  
 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT # \_\_\_\_\_  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
 SEWER SHED # AND PLANT: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)



VICINITY MAP

PARCEL# R06011-002-018-000  
 ADDRESS: 2130 S 17TH ST  
 OWNER: CAMERON COMPANY LLC  
 USE: MEDICAL AND HEALTH  
 ZONE: CB-COMMUNITY BUSINESS



PARCEL# R06011-003-007-001  
 ADDRESS: 1510 MEDICAL CENTER DR.  
 OWNER: MEDICAL CTR DR ASSOCIATES LLC  
 USE: PHYSICIAN  
 ZONE: O&I-1 OFFICE & INSTITUTIONAL

NOTE: (1) OBSERVATION WELL REQUIRED IN EACH TERRACE IF PERVIOUS CONCRETE BASE IS TERRACED.

ASPHALT PAVEMENT SEE DETAIL  
 PERVIOUS CONCRETE SEE DETAIL

EXIST. PARKING AREA AND BUILDING LOCATIONS WERE TAKEN BY FIELD MEASUREMENT AND AERIAL PHOTOGRAPHY.

PROPOSED SIGHT LIGHTING, TYP. FINAL NUMBER, DESIGN AND LOCATION TO BE DETERMINED BY DUKE ENERGY LIGHTING PLAN. LIGHTS SHALL BE DESIGNED TO DIRECT LIGHT ONTO SITE AND NOT ONTO ADJACENT PROPERTIES. PROPOSED LIGHTS SHALL HAVE 90° CUT OFF BEHIND LIGHT.

PARCEL# R06011-003-002-000  
 ADDRESS: 1518 VILLAGE DR  
 OWNER: GLEN MEADE APARTMENTS LLC  
 ZONE: MF-M-MULTI FAMILY MED. DENSITY

PARCEL# R06011-003-003-000  
 ADDRESS: 2216 S 17TH ST  
 OWNER: CANTERBURY CENTER, LLC  
 USE: COMMERCIAL OTHER SERVICES  
 ZONE: CB-COMMUNITY BUSINESS

PARCEL# R06011-003-005-000  
 ADDRESS: 2200 S 17TH ST  
 OWNER: FIRST CITIZENS BANK & TRUST CO.  
 USE: BANK  
 ZONE: CB-COMMUNITY BUSINESS

PARCEL# R06011-003-004-000  
 ADDRESS: 2208 S 17TH ST  
 OWNER: VAN BUREN PROPERTIES LLC  
 USE: MEDICAL AND HEALTH  
 ZONE: CB-COMMUNITY BUSINESS

150' PUBLIC ROW  
 17TH STREET

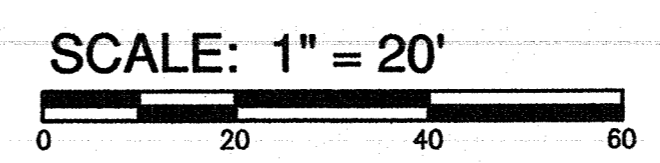
TREE REMOVAL TABLE	
REGULATED TREES REMOVED:	
(10) PINES	
(1) DOGWOOD	
(2) OAKS	
NO SIGNIFICANT TREES EXIST ON SITE	

- PERVIOUS PAVEMENT NOTES:**
- RUNOFF FROM ADJOINING PERVIOUS PAVEMENT AREAS SHALL BE DIRECTED AWAY FROM THE PERVIOUS PAVEMENT TO THE HIGHEST EXTENT POSSIBLE.
  - EDGE RESTRAINTS SHALL BE PROVIDED TO SEPARATE PERVIOUS PAVEMENT FROM ASPHALT PAVEMENT.
  - PERVIOUS PAVEMENT SIGNAGE SHALL BE CLEARLY POSTED TO PREVENT USE BY INAPPROPRIATE VEHICLES AND THE DEPOSITION AND STORAGE OF PARTICULATE MATTER.
  - PERVIOUS PAVEMENT SHALL BE PERVIOUS CONCRETE (PC). FOR PC THE MIX DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF ACI 522.1. INSTALLATION OF PERVIOUS PAVEMENT SHALL ONLY BE DONE BY CERTIFIED AND QUALIFIED CONTRACTORS.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON, NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: 7-7-16 Permit # 2016022  
 Signed: [Signature]  
 Approved Construction Plan  
 Name: [Name] Date: 7/5/16  
 Planning: [Signature] Date: 7/5/16  
 Traffic: [Signature] Date: 7/5/16  
 File: [Signature] Date: 7-7-16

NC DENR PWS WATER PERMIT #	
WATER CAPACITY:	GPD
DWQ SEWER PERMIT #	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES OR NO (CIRCLE ONE)



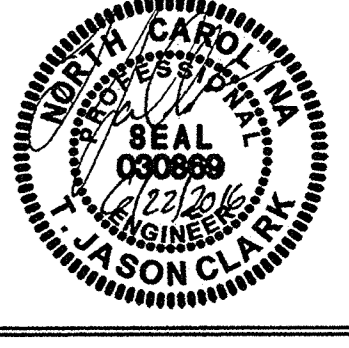
SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

LAYOUT PLAN AND TREE REMOVAL PLAN  
 NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR.  
 1612 MEDICAL CENTER DRIVE  
 WILMINGTON, N.C.

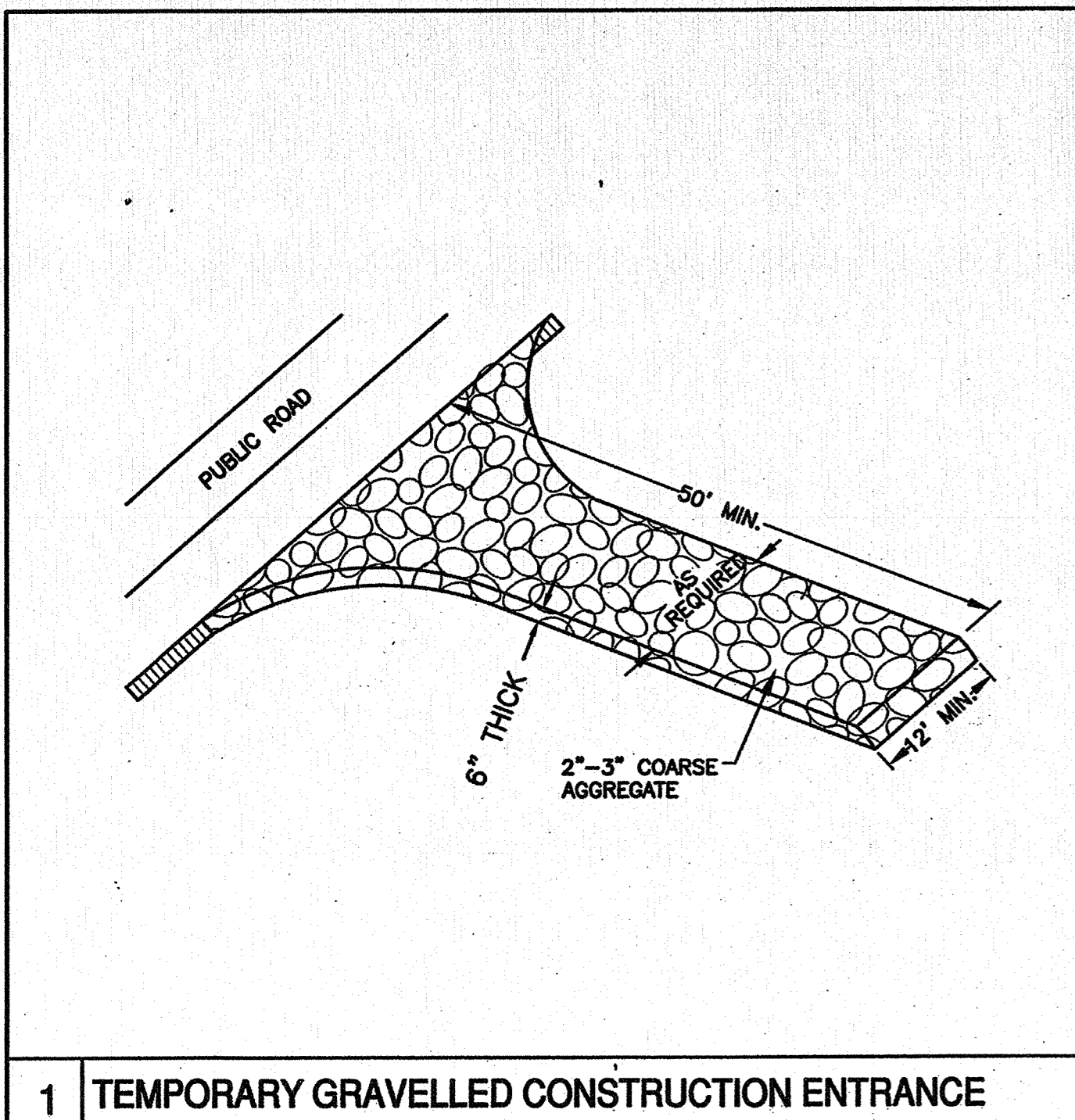
OWNER/DEVELOPER  
 NHRMC  
 PO BOX 9000  
 WILMINGTON, NC 28402  
 910 343-2788

NORRIS & TUNSTALL  
 CONSULTING ENGINEERS, P.C.  
 902 MARKET STREET  
 WILMINGTON, NC 28401  
 1429 ASH-LITTLE RIVER RD, NW  
 WILMINGTON, NC 28420  
 PHONE (910) 287-9800  
 (910) 343-9855  
 license #C-3641

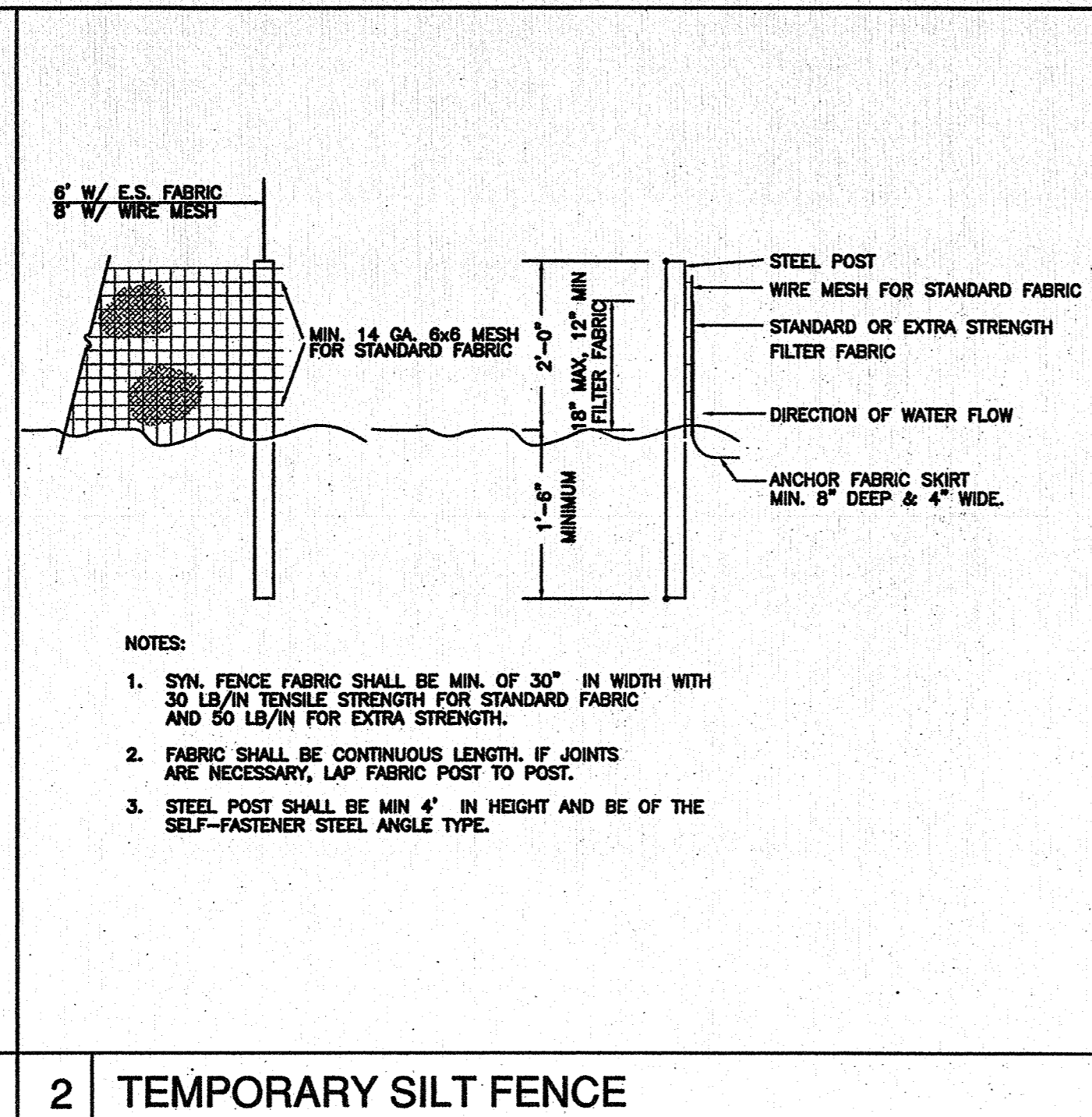
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 DES. JUST  
 C.D. JPN  
 DRWN. NKS  
 DATE 6/22/16



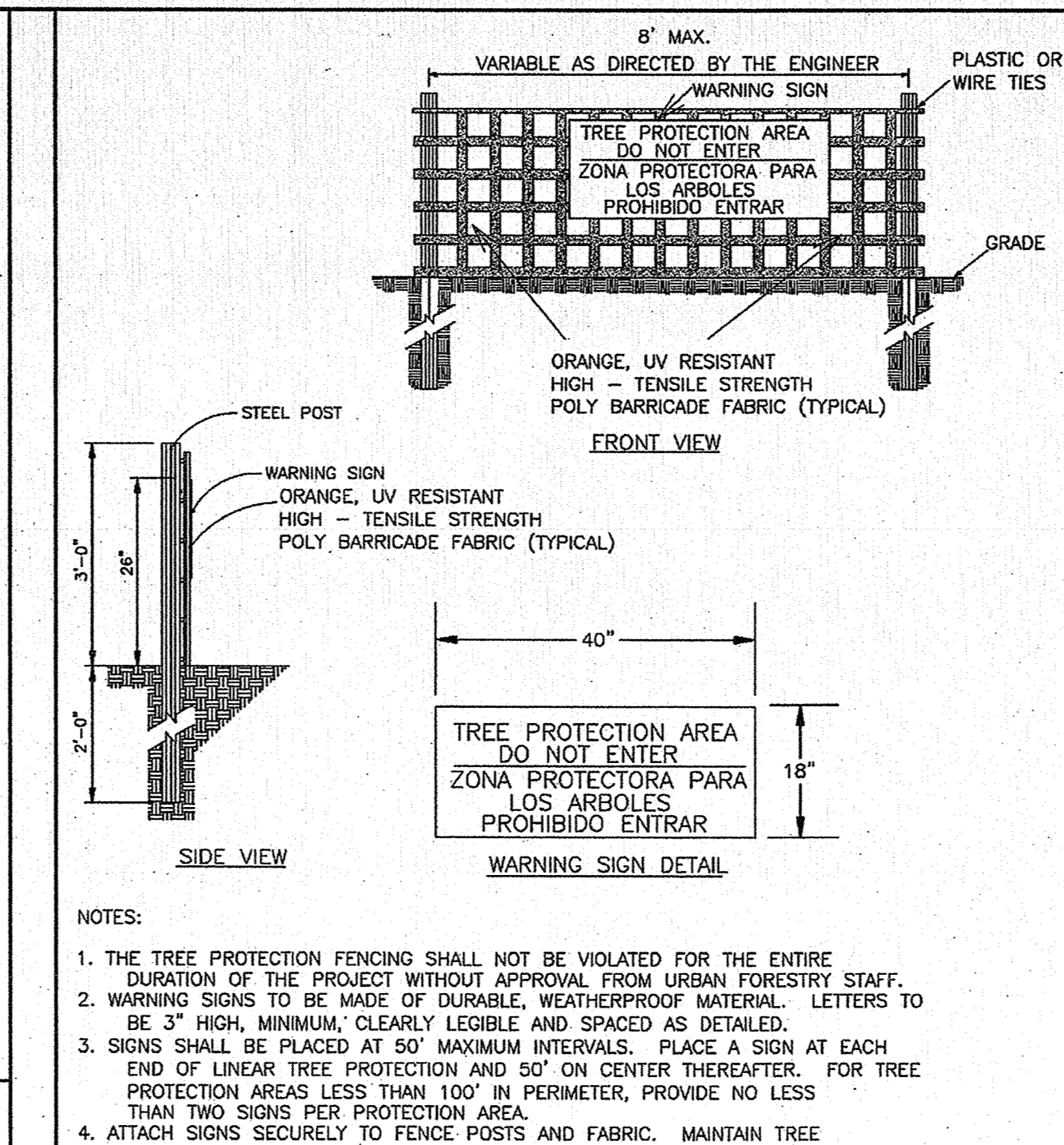
C3



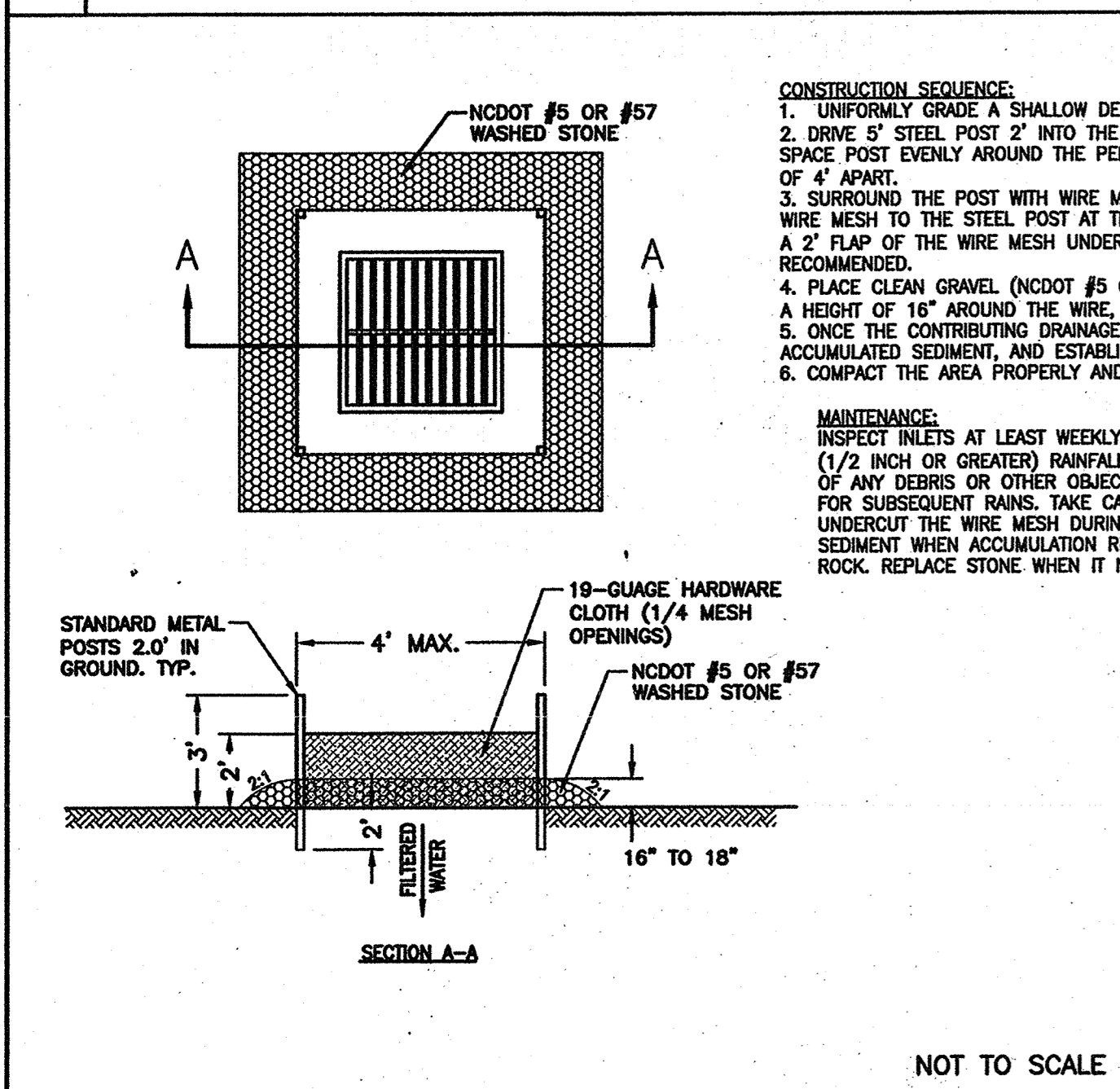
1 TEMPORARY GRAVELLED CONSTRUCTION ENTRANCE



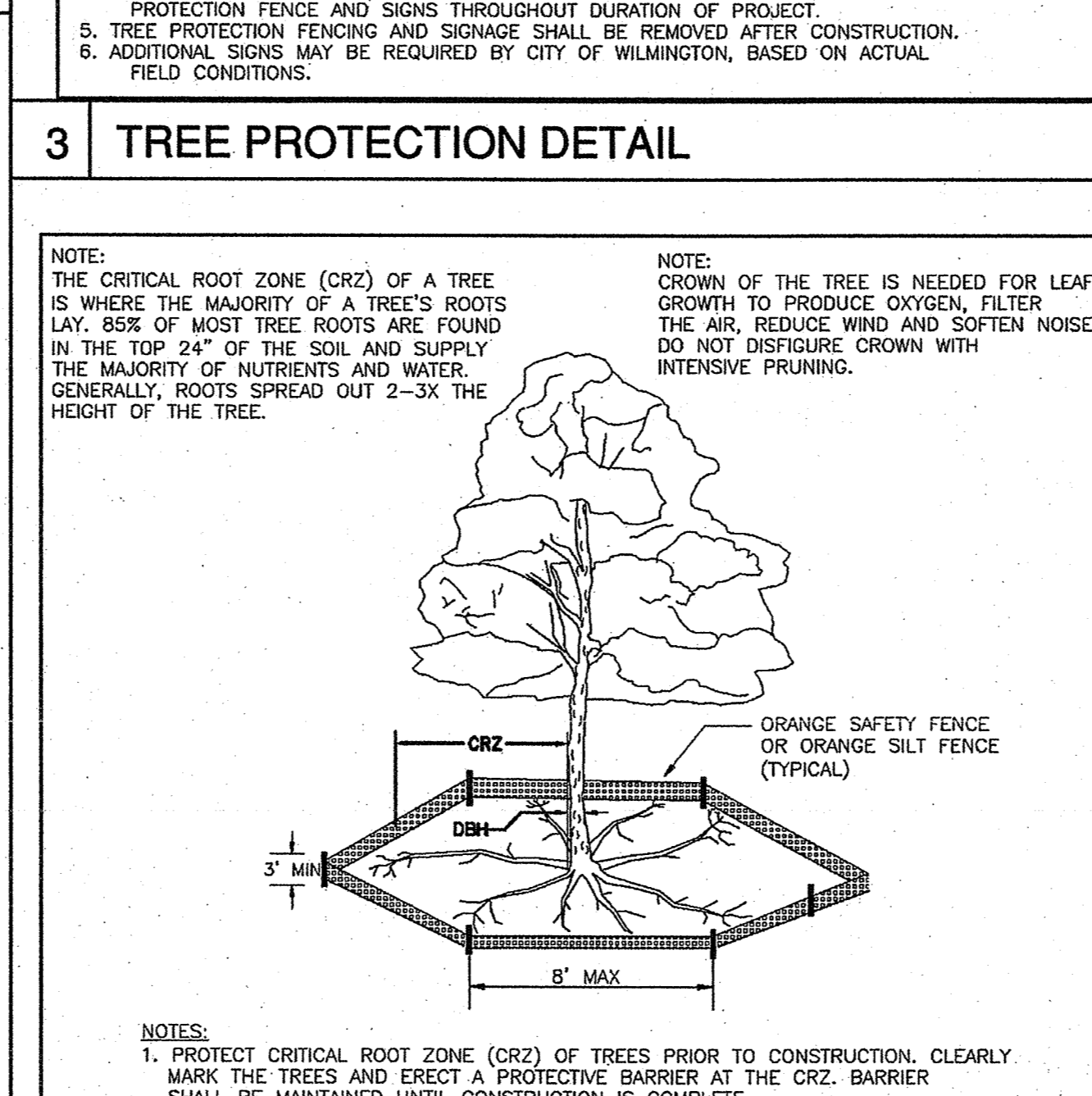
2 TEMPORARY SILT FENCE



3 TREE PROTECTION DETAIL



4 HARDWARE CLOTH AND GRAVEL INLET PROTECTION



6 TREE PROTECTION DETAIL

### EROSION CONTROL NOTES AND MAINTENANCE PLAN:

- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATIONAL FOLLOWING RAINFALL. BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.
- ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
- SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND WATTLES, BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
- DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWAINS MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE, THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF-FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
- LAND QUALITY REQUIREMENTS: ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN. TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS. WATER QUALITY REQUIREMENTS: ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1:1 VERTICAL (3:1) AND ALL HIGH QUALITY WATER (HQW) ZONES SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN SEVEN (7) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN FOURTEEN (14) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

### TEMPORARY/PERMANENT GRASS SPECIFICATION:

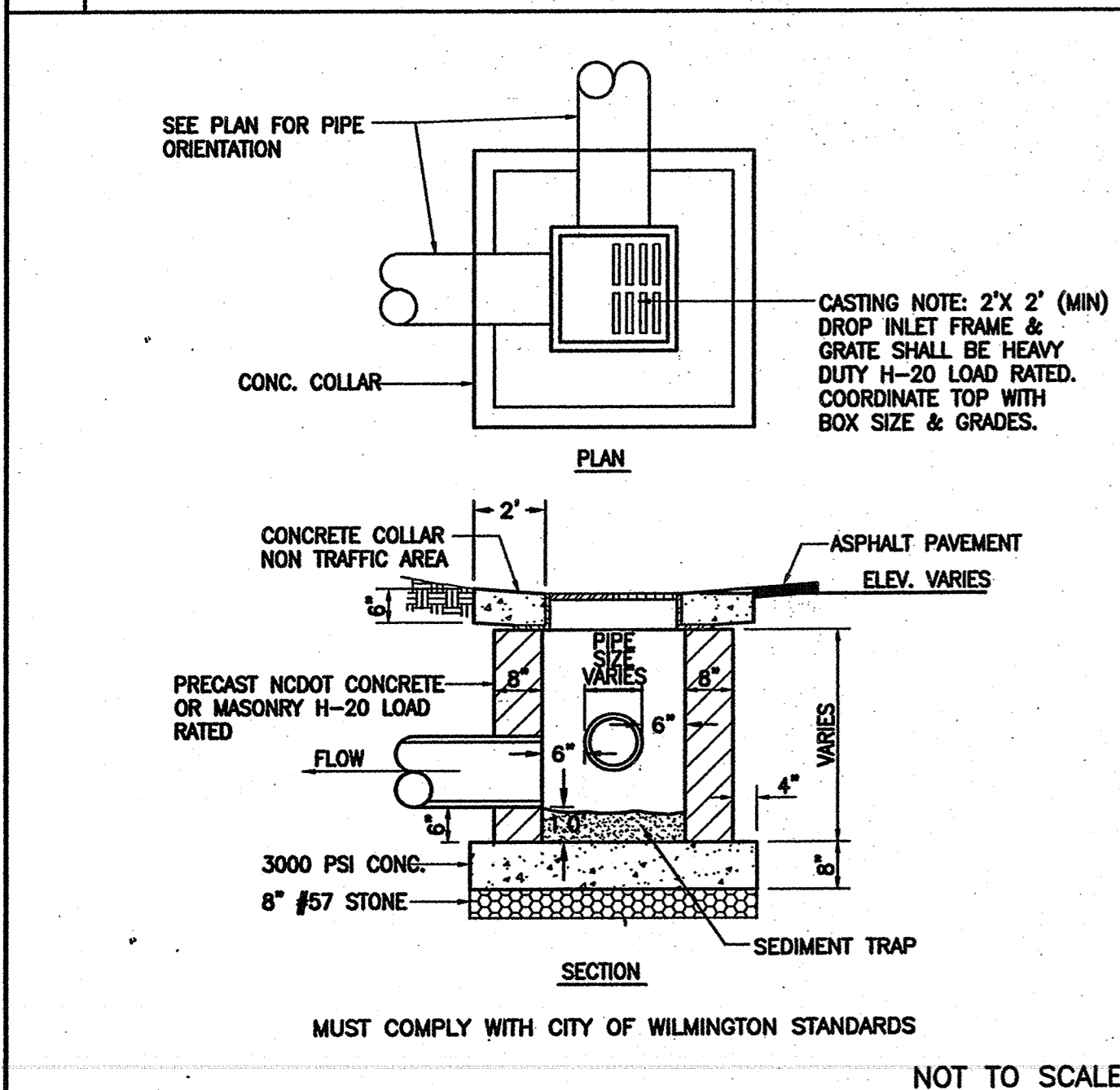
- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS.
- RIP THE ENTIRE AREA TO A 6 INCH DEPTH.
- REMOVE ALL ROCKS, ROOTS AND OTHER OBSTRUCTIONS LEAVING SURFACES SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME AND FERTILIZER UNIFORMLY AND MIX WITH SOIL. LIME: 45 LBS. PER 1000 S.F. PHOSPHOROUS: 20 LBS PER 1000 S.F. FERTILIZER: 17 LBS. PER 1000 S.F.
- CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM, UNIFORM SEED BED IS PREPARED 4-6 INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEED BED AND COVER SEED LIGHTLY. 2 - 3 LBS PER 1000 S.F. (SEE MIXTURE BELOW)
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH. GRAIN STRAW & HAY AT 75 TO 100 LBS PER 1000 S.F. WOOD CHIPS AT 500 LBS. PER 1000 S.F. JUTE & MESH AS PER MANUFACTURER
- ASPHALT FOR ANCHORING MULCH SHALL BE TYPE SS-1 EMULSION AND APPLIED AT A RATE OF 1000 GAL. PER ACRE FOR SLOPE STABILIZATION, AND 150 GAL. PER TON OF STRAW FOR ANCHORING STRAW.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEED WITHIN THE PLANTING SEASON, IF POSSIBLE. IF GRASS STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE, TREATMENT, AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- SEED FOR TEMPORARY AND PERMANENT APPLICATIONS SHALL BE:
 

20%	CARPET GRASS
28%	BERMUDA GRASS
20%	TURF FESCUE
10%	CREeping RED FESCUE
20%	ANNUAL RYE GRAIN

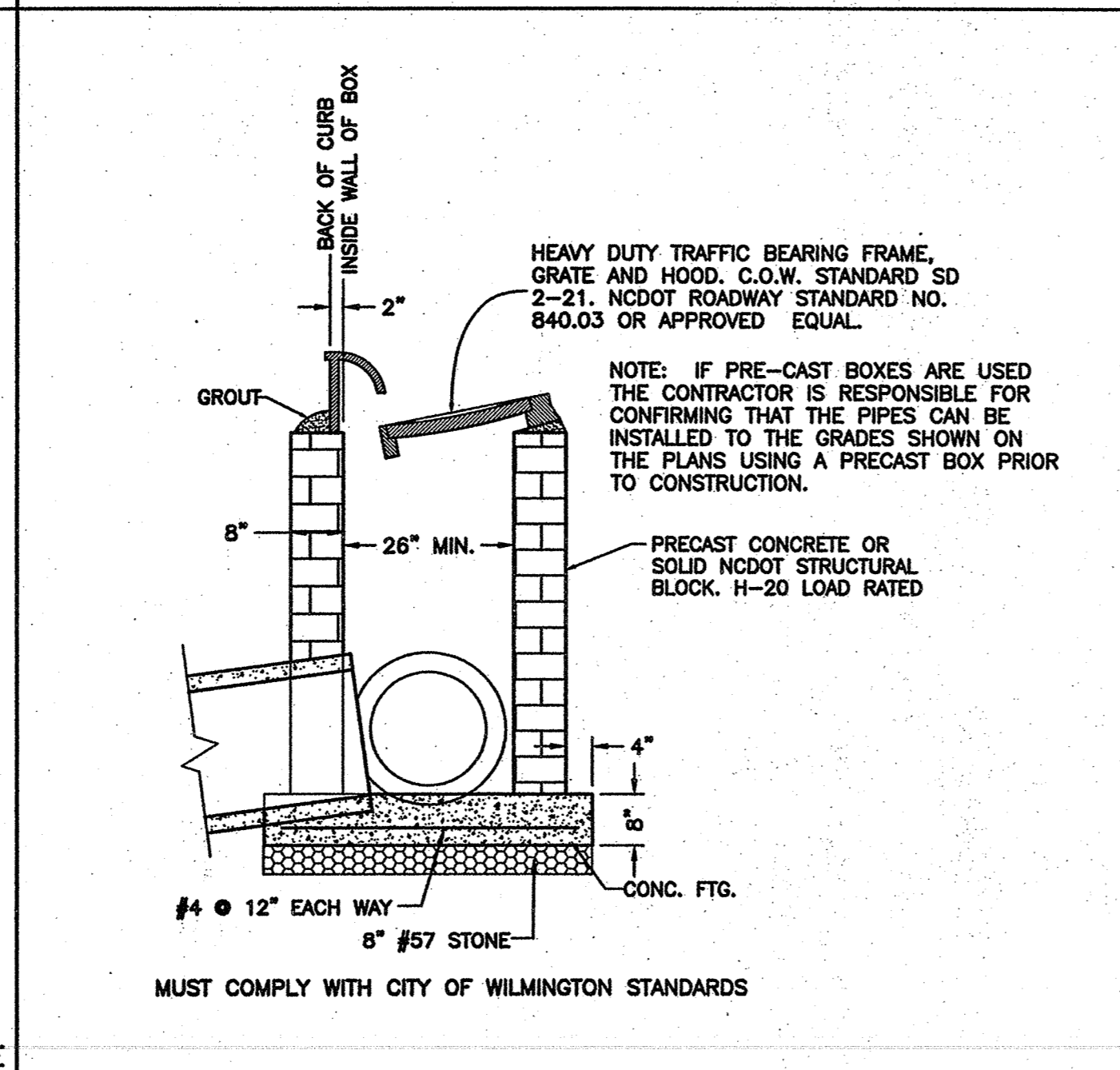
 \*BERMUDA SEED SHALL BE HULLED FOR WARM WEATHER PLANTING. PURITY OF SEED SHALL BE A MIN. OF 98% AND GERMINATION SHALL BE A MIN. OF 85%.

ALL DISTURBED AREA SHALL BE SEEDED WITHIN 7-14 DAYS OF THE COMPLETION OF GRADING. SEE EROSION CONTROL AND MAINTENANCE NOTES. CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDEED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS. OTHER SEEDING SCHEDULES MAY BE POSSIBLE.

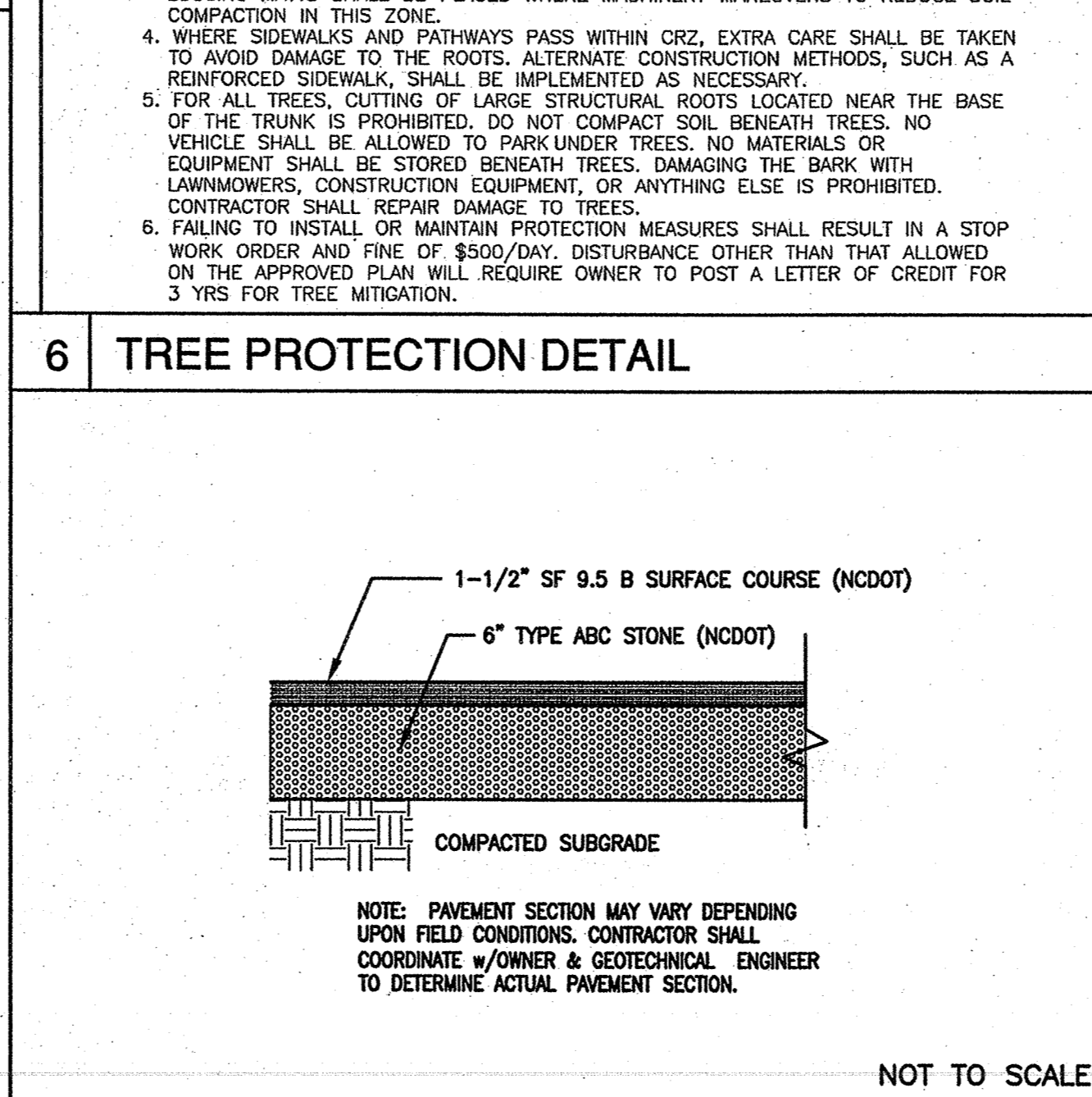
10 TYPICAL GRASS SWALE



7 DROP INLET DETAIL



8 CATCH BASIN DETAIL



9 ASPHALT PAVEMENT SECTION

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN  
Date: 7-7-16 Permit: 2016022  
Signed: [Signature]  
Name: [Name] Date: 7/5/16  
Planning: [Signature] 7/5/16  
Traffic: [Signature] 7/5/16  
File: [Signature] 7-7-16

**Approved Construction Plan**  
Name: [Name] Date: [Date]  
Planning: [Signature] 7/5/16  
Traffic: [Signature] 7/5/16  
File: [Signature] 7-7-16

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_ GPD  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWO SEWER PERMIT #: \_\_\_\_\_ GPD  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SCHED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			

© 2014 NORRIS & TUNSTALL

10 TYPICAL GRASS SWALE

**NOTES AND DETAILS**  
NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR  
1612 MEDICAL CENTER DRIVE  
WILMINGTON, N. C.

**OWNER/DEVELOPER**  
NHRMC  
PO BOX 9000  
WILMINGTON, NC 28402  
910 343-2788

**NORRIS & TUNSTALL**  
CONSULTING ENGINEERS, P.C.  
1429 ASH-LITTLE RIVER RD, NW  
WILMINGTON, NC 28402  
PHONE (910) 287-5900  
license #C-3641

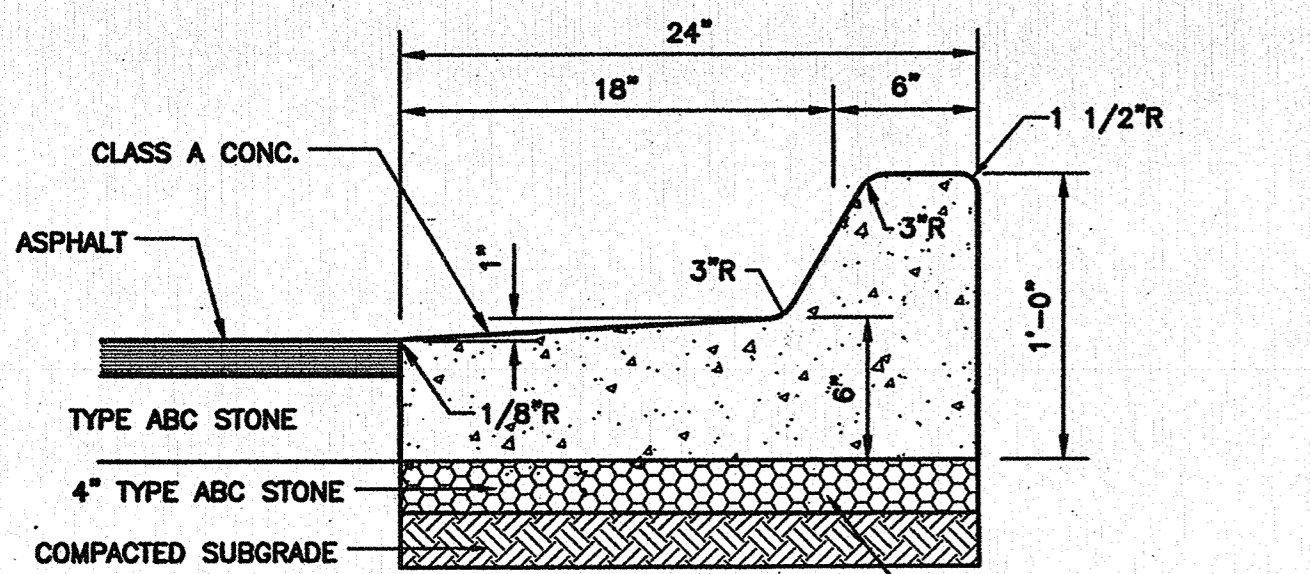
**16031**

DES: JST  
CKD: JPN  
DRWN: NKS

DATE: 6/30/16

**C4**

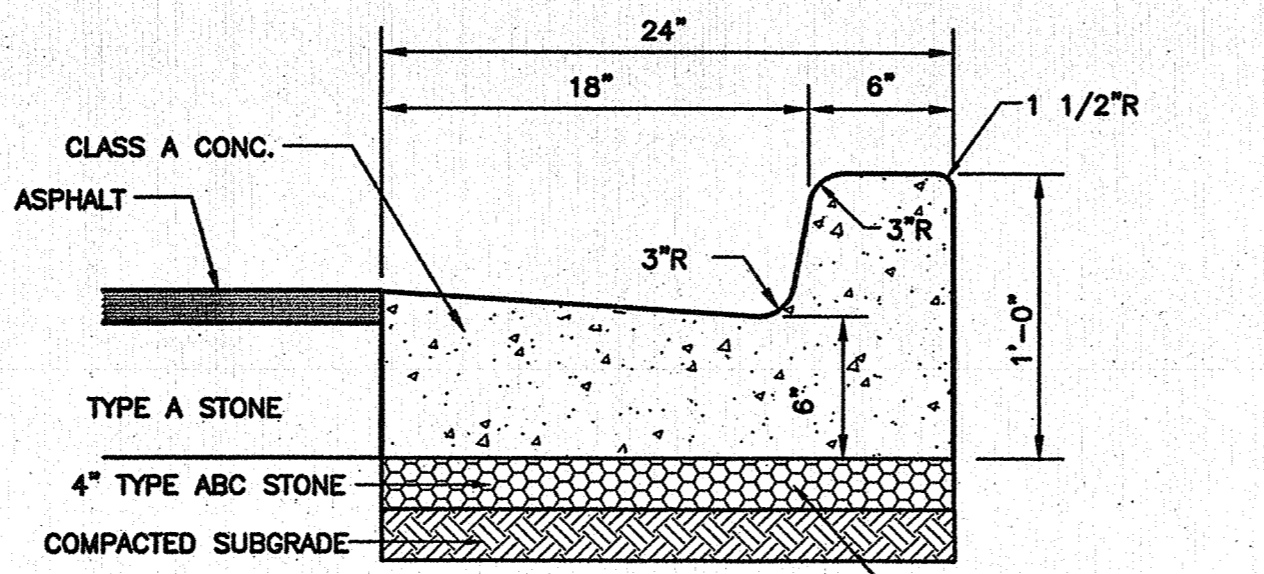
NOTE: INSTALLATION OF NEW 24" CURB AND GUTTER ALONG GLEN MEADE ROAD SHALL REQUIRE A 6" ABC STONE BASE.



NOTE: CURB TYPE DEPENDS ON GRADES SHOWN ON GRADING PLAN. GRADES INDICATING FALL AWAY FROM CURB SHALL BE SPILL OFF TYPE CURB. GRADES INDICATING CURB ACCEPTING FLOW SHALL BE FLOW LINE TYPE.

NOT TO SCALE

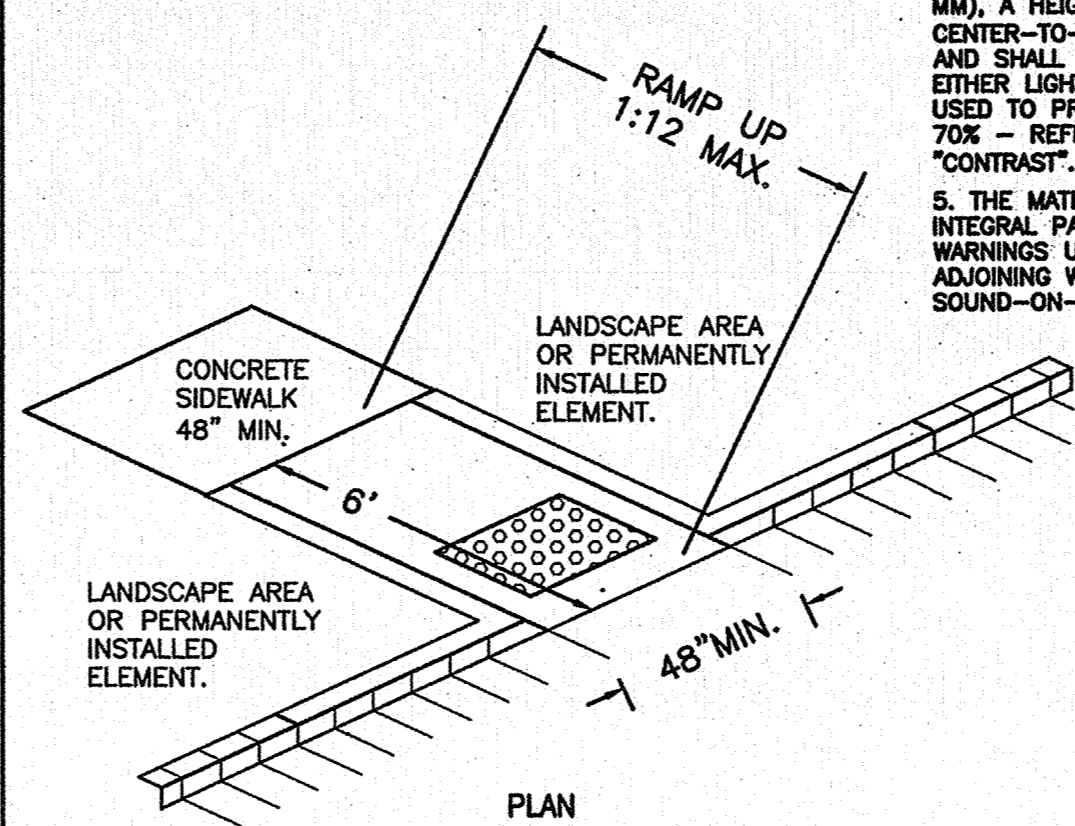
NOTE: INSTALLATION OF NEW 24" CURB AND GUTTER ALONG GLEN MEADE ROAD SHALL REQUIRE A 6" ABC STONE BASE.



NOTE: CURB TYPE DEPENDS ON GRADES SHOWN ON GRADING PLAN. GRADES INDICATING FALL AWAY FROM CURB SHALL BE SPILL OFF TYPE CURB. GRADES INDICATING CURB ACCEPTING FLOW SHALL BE FLOW LINE TYPE.

NOT TO SCALE

IF PEDESTRIANS DO NOT CROSS THE CURB CUT, THEN SIDE FLARES ARE NOT REQUIRED AND CURB ON BOTH SIDES MAY RETURN FOR FULL DEPTH OF THE CURB CUT.



- NOTE:
- RAMP SHALL HAVE A DETECTABLE WARNING COMPLYING WITH ADA GUIDELINES.
  - THE DETECTABLE WARNINGS AT CURB RAMP SHALL BE 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.
  - MARKED CROSSINGS THAT ARE RAISED TO THE SAME LEVEL AS THE ADJOINING SIDEWALK SHALL BE PRECEDED BY A 24 INCH DEEP DETECTABLE WARNING EXTENDING THE FULL WIDTH OF THE MARKED CROSSING.
  - DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70% - REFER TO ADA GUIDELINES FOR DEFINITION OF "CONTRAST".
  - THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON INTERIOR SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.

\* SEE NOTES ON DETECTABLE WARNING

NOT TO SCALE

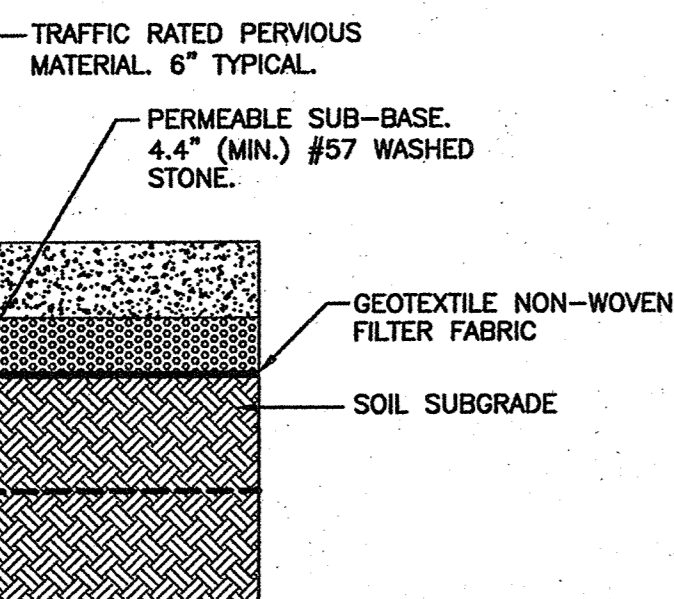
CITY OF WILMINGTON STANDARD NOTES:

- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. POSTED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCCOHR OR ASSE.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED SINGLE STRAND COPPER WIRE INSTALLED THE ENTIRE LENGTH AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- THE NUMBER AND SPACING OF DRIVEWAYS FOR ALL INTERCONNECTED SITES WILL BE DETERMINED BY THE COMBINED FRONTAGE OF THE INTERCONNECTED PROPERTIES.
- UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- IF AN IRRIGATION SYSTEM IS PLANNED FOR THE SITE, UTILIZE MOISTURE SENSORS.
- ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
- PLEASE CONSIDER INCORPORATING XERIC LANDSCAPING FOR ALL NEW LANDSCAPING.

1 24" CURB AND GUTTER SECTION (SPILL-OFF)

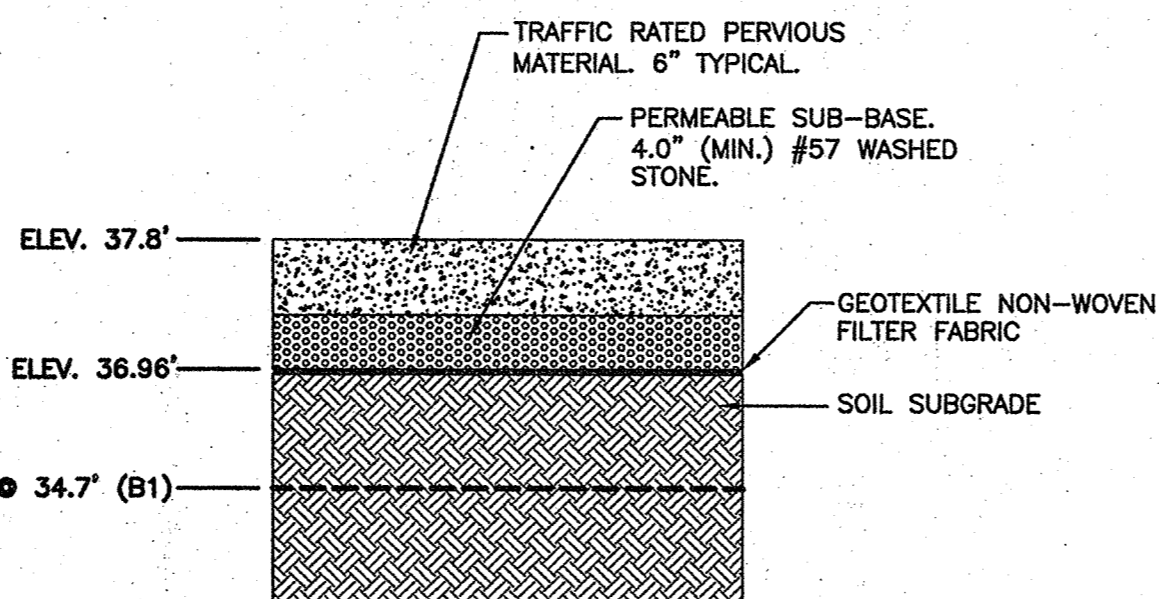
2 24" CURB AND GUTTER SECTION (FLOW-LINE)

3 SIDEWALK, CURB CUT AND WHEEL CHAIR RAMP DETAIL



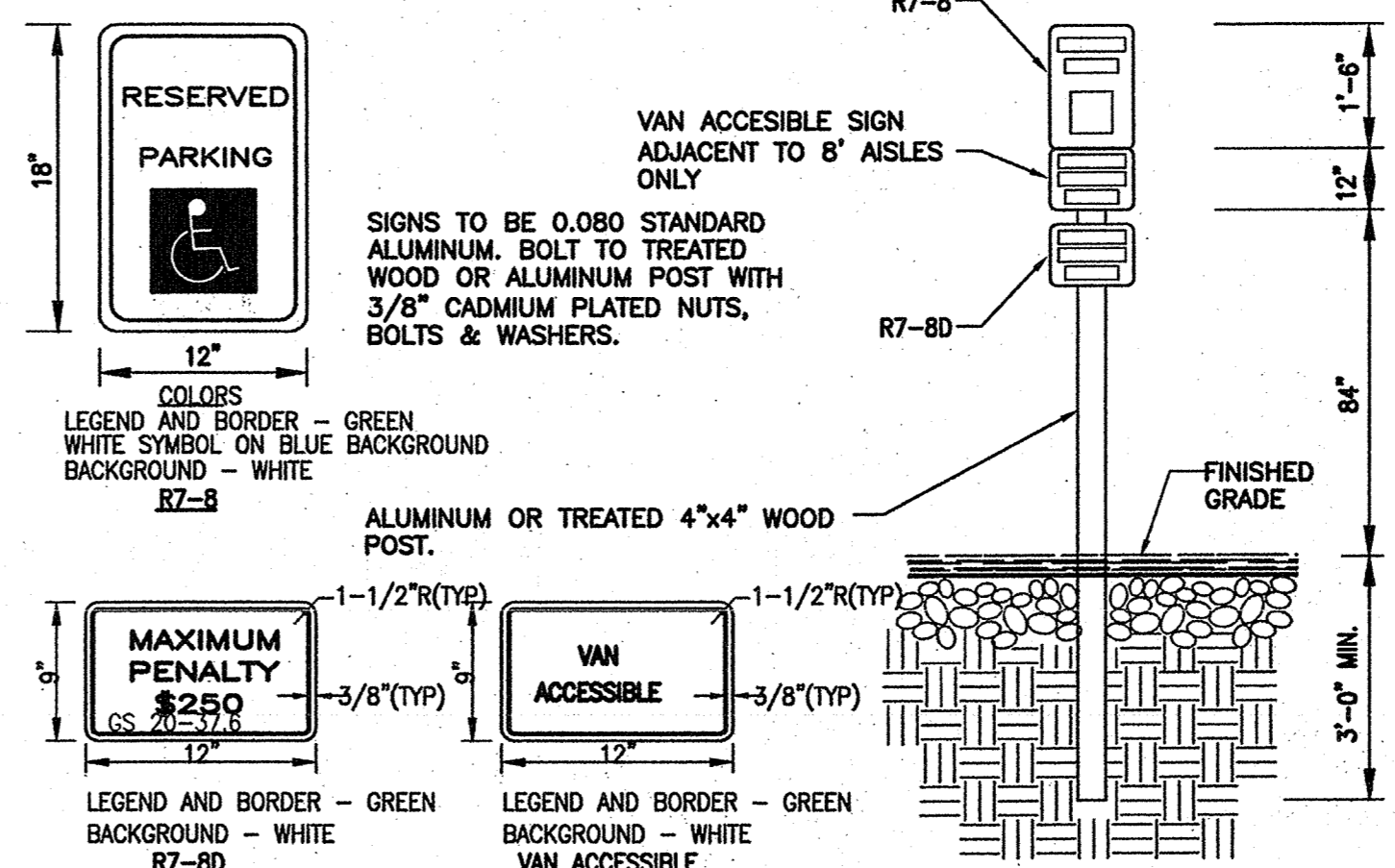
- NOTES:
- TRAFFIC RATED PERVIOUS MATERIALS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
  - PERVIOUS MATERIALS SECTION MAY VARY DEPENDING UPON MANUFACTURER.

NOT TO SCALE



- NOTES:
- TRAFFIC RATED PERVIOUS MATERIALS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
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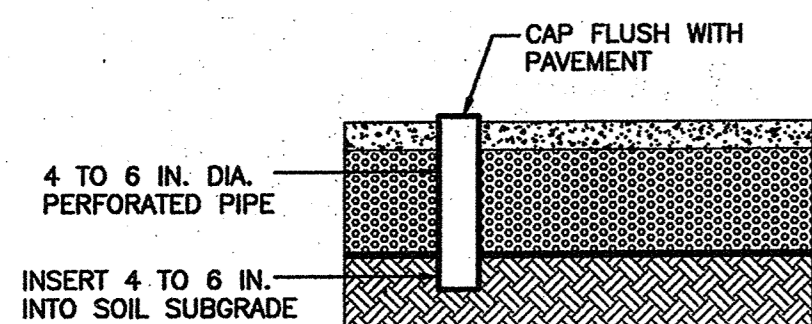


NOT TO SCALE

4 PERVIOUS PAVEMENT SECTION PC-1

5 PERVIOUS PAVEMENT SECTION PC-2

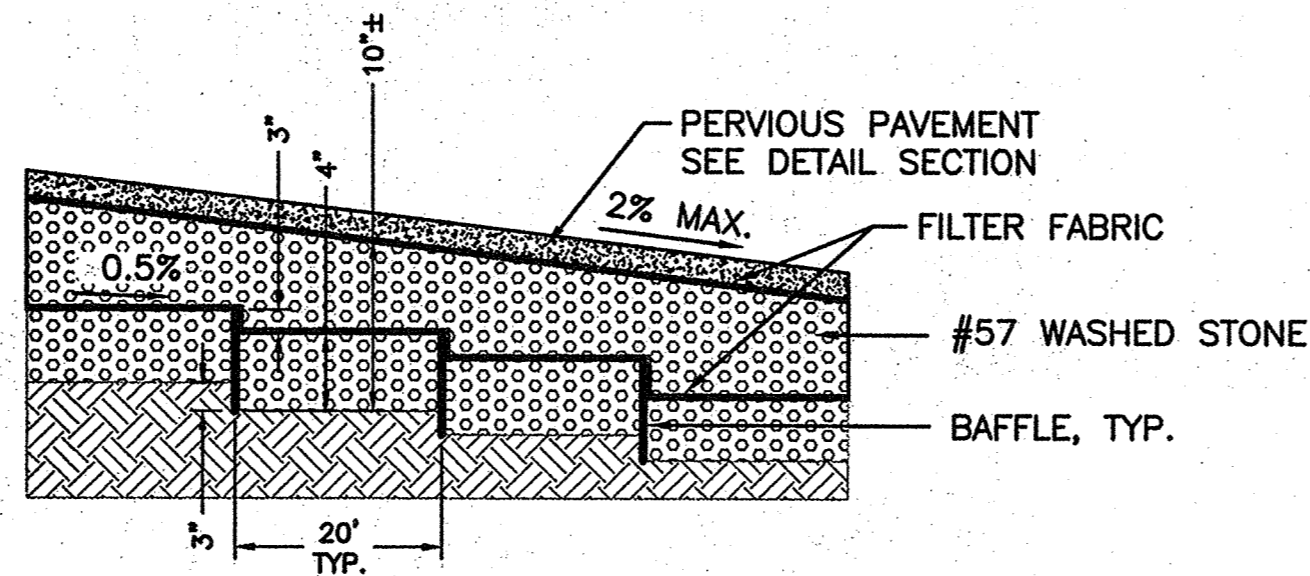
6 TYPICAL HANDICAPPED SIGN DETAIL



PERVIOUS PAVEMENT OBSERVATION WELL NOTES:

- IF THE SUBGRADE IS NOT TERRACED, THEN THE OBSERVATION WELL SHALL BE PLACED AT THE LOW END OF THE SUBGRADE SLOPE. IF THE SUBGRADE IS TERRACED, THEN ONE OBSERVATION WELL SHALL BE BUILT INTO THE LOW END OF EACH TERRACE.
- OBSERVATION WELLS SHALL BE FITTED WITH A LOCKABLE CAP INSTALLED PLACED EVEN WITH THE PAVEMENT SURFACE TO FACILITATE QUARTERLY INSPECTION AND MAINTENANCE.
- THE OBSERVATION WELL SHALL CONSIST OF A RIGID 4 TO 6 IN. DIAMETER PERFORATED PVC PIPE.

NOT TO SCALE



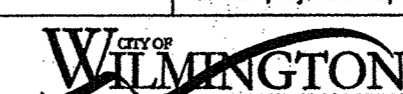
- DEPTH OF PERVIOUS PAVEMENT AS SPECIFIED FROM LOADING CONDITIONS.
- TOTAL WASHED STONE DEPTH PER MANUFACTURERS SPECS FOR LOAD BEARING CAPACITY.
- CONTRACTOR SHALL PROTECT PERVIOUS PAVEMENT FROM SEDIMENTATION UNTIL SURROUNDING PERMANENT VEGETATION IS ESTABLISHED.

NOT TO SCALE



- NOTES:
- THE PERMEABLE PAVEMENT SIGN IS BASED ON AN 18" X 24" STANDARD SIZE FOR SIGN PRODUCTION.
  - A HIGH-RESOLUTION IMAGE FILE CAN BE PROVIDED BY THE DWO FOR USE IN FABRICATING THE SIGN. THE GRAPHIC IS IN COLOR BUT COLOR SIGNS ARE NOT REQUIRED.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Public Services • Engineering Division  
APPROVED DRAINAGE PLAN  
Date: 7-7-16, Permit # 2016022  
Signed: [Signature]

Approved Construction Plan  
Name: [Name] Date: [Date]  
Planning: [Signature] 7/5/16  
Traffic: [Signature] 7/5/16  
Fire: [Signature] 7/7/16

NODENR PWSS WATER PERMIT #:	_____	GPD
DWO SEWER PERMIT #:	_____	GPD
SEWER CAPACITY:	_____	GPD
SEWER SHED # AND PLANT:	_____	
SEWER TO FLOW THROUGH NE:	YES OR NO (CIRCLE ONE)	

UTILITY NOTES FOR FIRE HYDRANTS:

- FIRE HYDRANTS MUST BE WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION.
- THE FIRE DEPARTMENT CONNECTION MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING AND PARKING CANNOT BLOCK OR IMPEDE THE FIRE DEPARTMENT CONNECTIONS OR FIRE HYDRANTS. A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE FIRE HYDRANT CONNECTION AND THE FIRE HYDRANT.
- FIRE HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- THE CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.
- UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF THE STRUCTURE.

SYMBOL	DATE	DESCRIPTION	BY
REVISIONS			
© 2015 NORRIS & TUNSTALL			

NOTES AND DETAILS  
NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR.  
1612 MEDICAL CENTER DRIVE  
WILMINGTON, N. C.

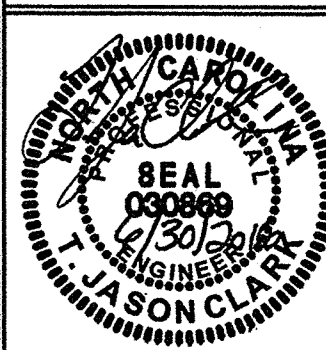
OWNER/DEVELOPER  
NHRMC  
PO BOX 9000  
WILMINGTON, NC 28420  
910 343-2788

NORRIS & TUNSTALL  
CONSULTING ENGINEERS, P.C.  
1429 ASH-LITTLE RIVER RD, NW  
ASH, NC 28420  
PHONE (910) 287-9800  
license #C-3641

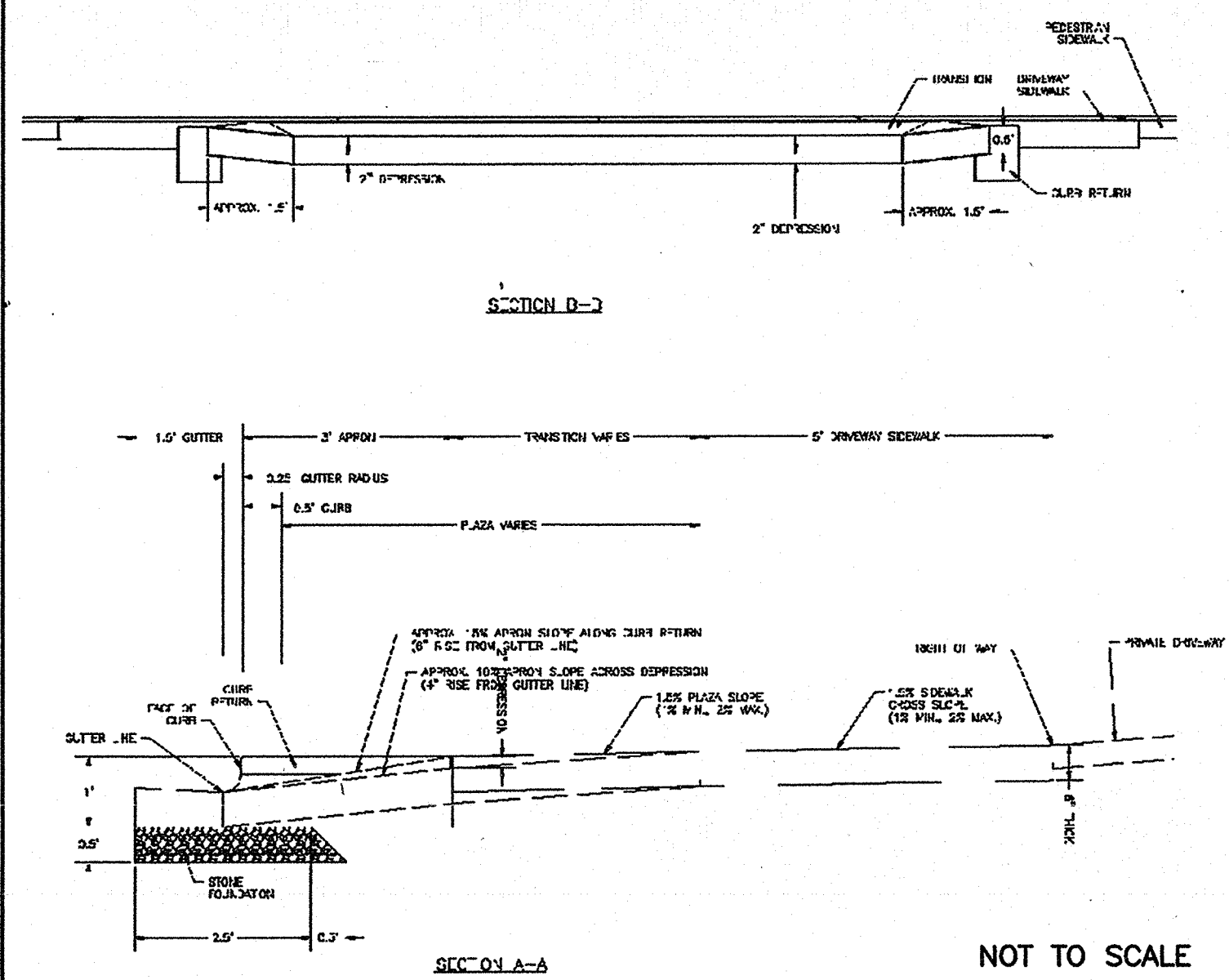
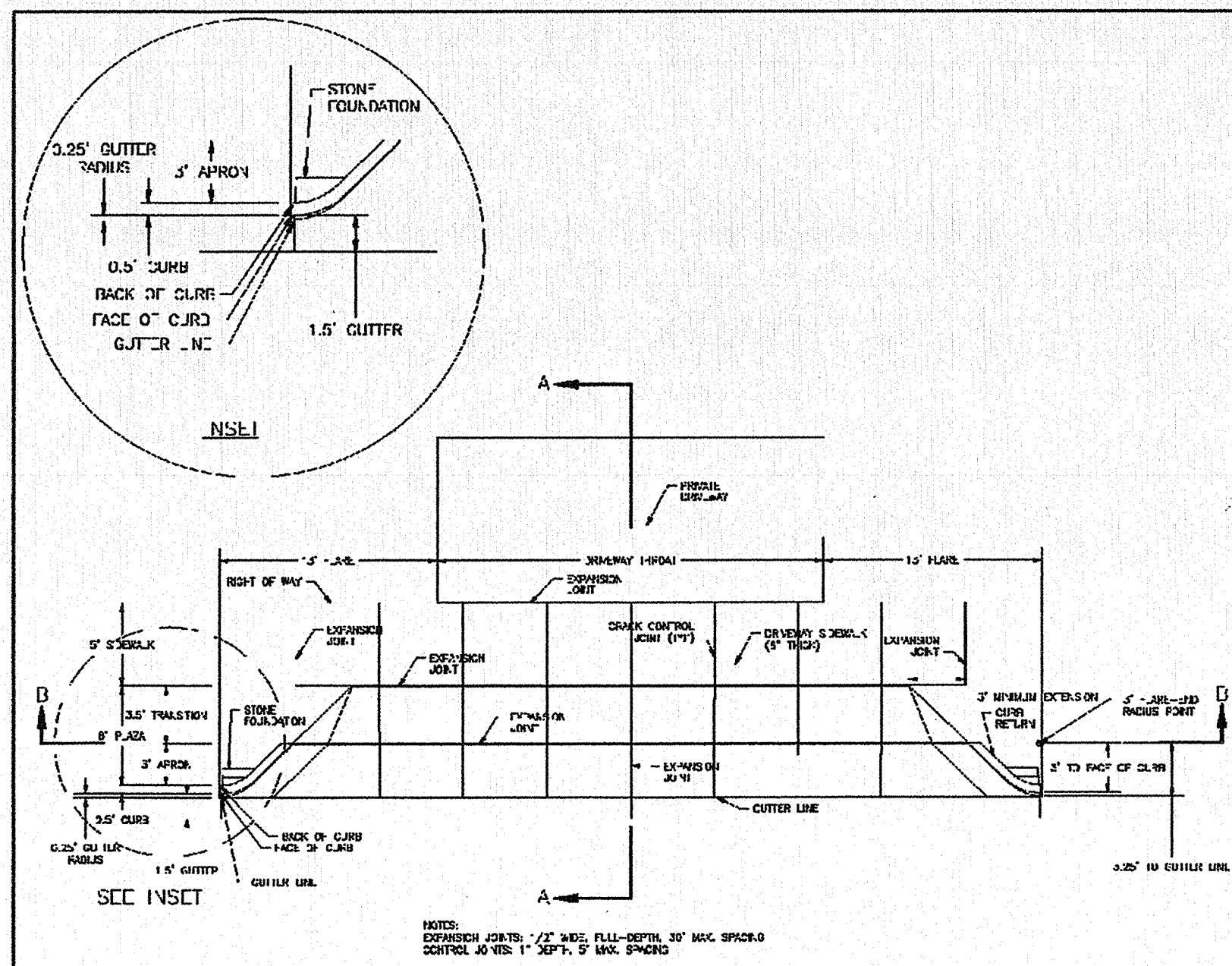
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DES. JST  
ORD. JPN  
DRAW. JNK

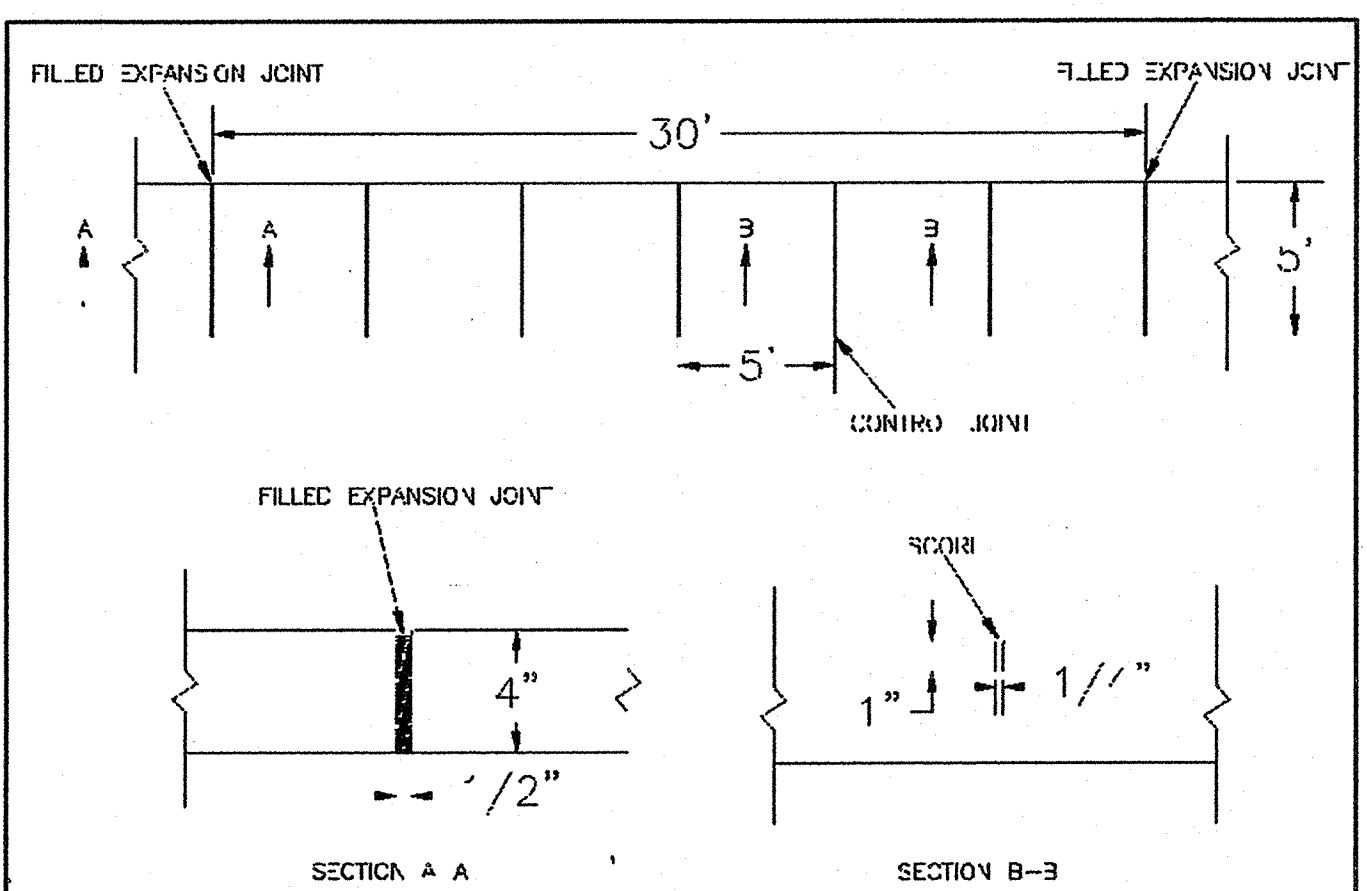
DATE 6/30/16



C5



STANDARD CITY OF WILMINGTON DRIVE WAY DETAIL



- NOTES:
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
  2. SANITARY SEWER CLEAN-OUTS, WATER METER, AND WATER MAIN LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
  3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM (1' PLACE) AT BACK OF CURB.
  4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" 3,000 PSI.
  5. MINIMUM REINFORCEMENT OR REPAIR IS A 5" x 5" PANEL.
  6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
  7. MINIMUM DEPTH FOR UNBELTING BELOW SIDEWALK IS 12"
  8. MAX ALLOWED GROUND SURFACE ELEVATION SHALL BE 2"
  9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT EAST DIRECTION. MAX CROSS SLOPE IS 2%. MAX OVERTHROW SLOPE IS 4%. C&G 1.0011 BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

STANDARD SIDEWALK DETAIL NOT TO SCALE

SERVICE ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CFPWA SEWER - CFPWA MUST INSPECT THE CAPPED SEWER SERVICE LINE (SEE DETAIL BELOW). THIS INSPECTION MUST BE COMPLETED BEFORE ANY PERMIT IS ISSUED BY NHC INSPECTIONS.

PRIVATELY TREATED SEWER OR SEPTIC TANK - CFPWA ENGINEERING DOES NOT REQUIRE A CFPWA INSPECTION.

CSR: \_\_\_\_\_  
DATE: \_\_\_\_\_

NOTES:  
1. GLUE CAPS MUST BE INSTALLED 24" FROM THE CLEAN OUT ON THE PROPERTY OWNER'S SIDE, AND LEFT EXPOSED UNTIL ENGINEERING INSPECTS AND APPROVES SEWER CAP-OFF.  
2. NO FEE FOR INITIAL INSPECTION. RE-INSPECTION FEE IS APPLICABLE FOR EACH RE-INSPECTION.

PIPE MATERIAL:  
SCH. 40, SOLVENT WELD PVC 1120, ASTM D-1785  
GLUED CAPS REQUIRED ON EACH END

CFPWA REQUIRES A TWO BUSINESS DAY NOTICE PRIOR TO SCHEDULING AN INSPECTION. PLEASE CONTACT CFPWA CUSTOMER SERVICE AT (910) 332-6550 TO SCHEDULE THE INSPECTION.

I ACKNOWLEDGE RECEIPT OF THIS DOCUMENT DESIGNATING PROPER PROCEDURES FOR CAPPING THE SEWER SERVICE FOR DEMOLITION PURPOSES. OWNER MUST PROVIDE ACKNOWLEDGEMENT LETTER THAT THE CONTRACTOR IS THEIR DESIGNEE.

DATE \_\_\_\_\_ CONTRACTOR/ OWNER'S SIGNATURE \_\_\_\_\_ CONTACT PHONE NUMBER \_\_\_\_\_

SHEET TITLE: SEWER TERMINATION FOR DEMOLITION PERMITS  
SCALE: NOT TO SCALE CFPWA DETAIL DATE: 02/28/16

CAPE FEAR PUBLIC UTILITY AUTHORITY  
235 GOVERNMENT CENTER DRIVE  
WILMINGTON, NC 28403  
OFFICE: (910)332-6560  
Stewardship. Sustainability. Service.

SERVICE ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CFPWA WATER - CFPWA MUST INSPECT THE CAPPED WATER SERVICE LINE (SEE DETAIL BELOW). THIS INSPECTION MUST BE COMPLETED BEFORE ANY PERMIT IS ISSUED BY NHC INSPECTIONS. CUSTOMER MAY REQUEST THE METER TO BE PULLED IF THE SITE IS NOT TO BE REDEVELOPED. NOTE TO CUSTOMER SERVICE: ISSUE SERVICE ORDER FOR REMOVAL OF CFPWA METER, IF REQUESTED.

PRIVATE WELL OR PRIVATELY OWNED COMMUNITY WATER - CFPWA ENGINEERING DOES NOT REQUIRE A CFPWA INSPECTION.

CSR: \_\_\_\_\_  
DATE: \_\_\_\_\_

NOTES:  
1. CAPS MUST BE INSTALLED 24" FROM THE BACK SIDE OF THE METER BOX, ON THE PROPERTY OWNER'S SIDE, AND LEFT EXPOSED UNTIL ENGINEERING INSPECTS AND APPROVES WATER CAP-OFF.  
2. NO FEE FOR INITIAL INSPECTION. RE-INSPECTION FEE IS APPLICABLE FOR EACH RE-INSPECTION.

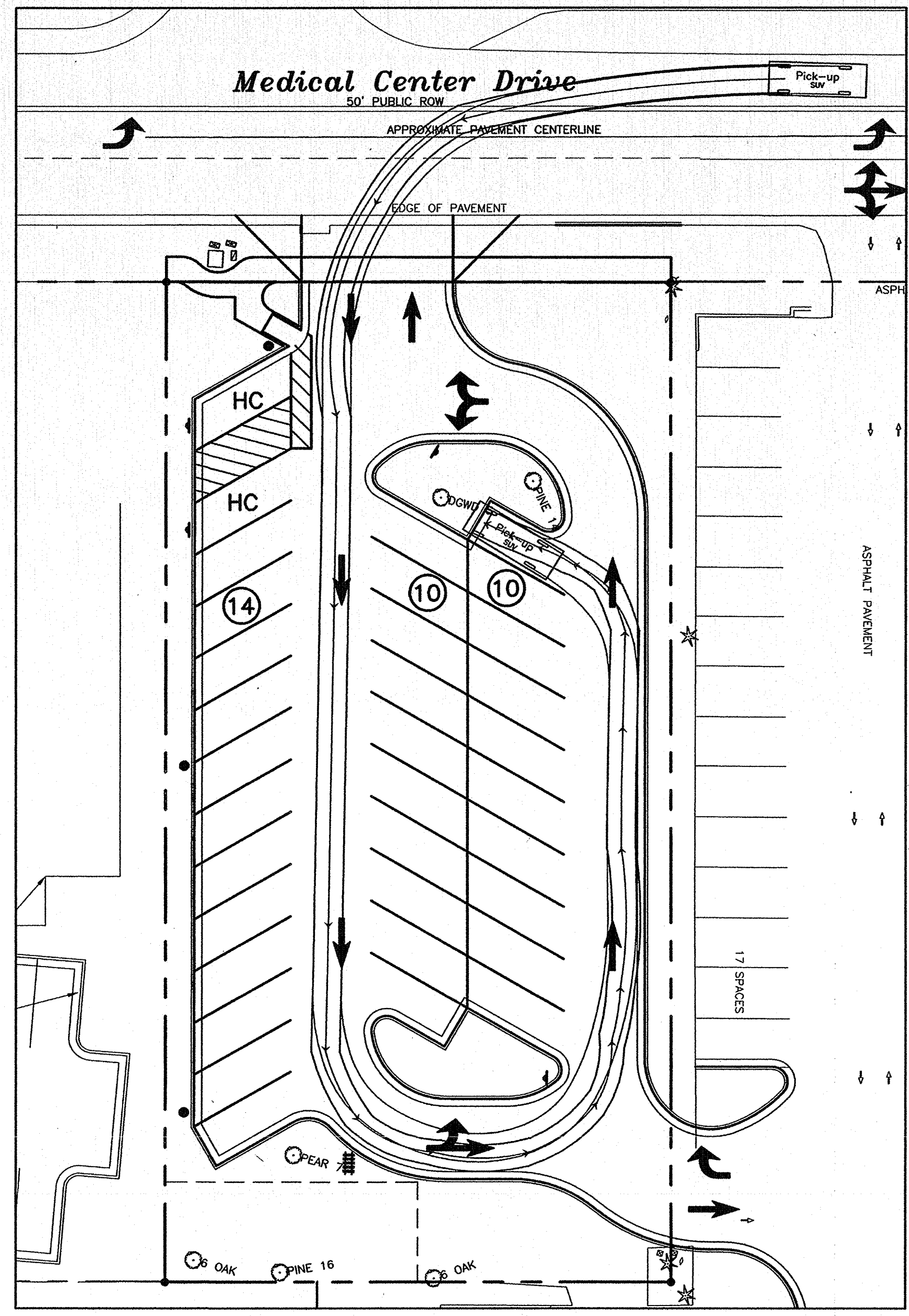
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DATE \_\_\_\_\_ CONTRACTOR/ OWNER'S SIGNATURE \_\_\_\_\_ CONTACT PHONE NUMBER \_\_\_\_\_

SHEET TITLE: WATER TERMINATION FOR DEMOLITION PERMITS  
SCALE: NOT TO SCALE CFPWA DETAIL DATE: 02/28/16

CAPE FEAR PUBLIC UTILITY AUTHORITY  
235 GOVERNMENT CENTER DRIVE  
WILMINGTON, NC 28403  
OFFICE: (910)332-6560  
Stewardship. Sustainability. Service.



PICK-UP TRUCK PARKING EXHIBIT  
SCALE: 1"=20'

Outdoor Lighting

Light source: LED (white)  
Lumens: 13,620 (for all)

Wattage	Light Pattern	BUG Rating
LED 205	IESNA Type V	B4-U0-G2
LED 205	IESNA Type IV	B2-U0-G3
LED 205	IESNA Type III	B2-U0-G2

Color temperature: 4,000K  
Warm-up and restrike time: Instant on (no warm-up or restrike time)

PROPOSED SIGHT LIGHTING, TYP. FINAL NUMBER, DESIGN AND LOCATION TO BE DETERMINED BY DUKE ENERGY LIGHTING PLAN. LIGHTS SHALL BE DESIGNED TO DIRECT LIGHT ONTO SITE AND NOT ONTO ADJACENT PROPERTIES. PROPOSED LIGHTS SHALL HAVE 90° CUT-OFF BEHIND LIGHT.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN

Date: 7-7-16 Permit #: 2016022  
Signed: [Signature]

Approved Construction Plan  
Name: [Name] Date: 7/1/16  
Planning: [Signature]  
Traffic: [Signature]  
Fire: [Signature]

NCDENR PWSS WATER PERMIT #: \_\_\_\_\_  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWQ SEWER PERMIT #: \_\_\_\_\_  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SHED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

NOTES AND DETAILS  
NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR.  
1612 MEDICAL CENTER DRIVE  
WILMINGTON, N. C.

OWNER/DEVELOPER  
NHRMC  
PO BOX 9000  
WILMINGTON, NC 28402  
910 343-2788

NORRIS & TUNSTALL  
CONSULTING ENGINEERS, P.C.  
902 MARKET STREET  
WILMINGTON, NC 28401  
PHONE (910) 343-9653

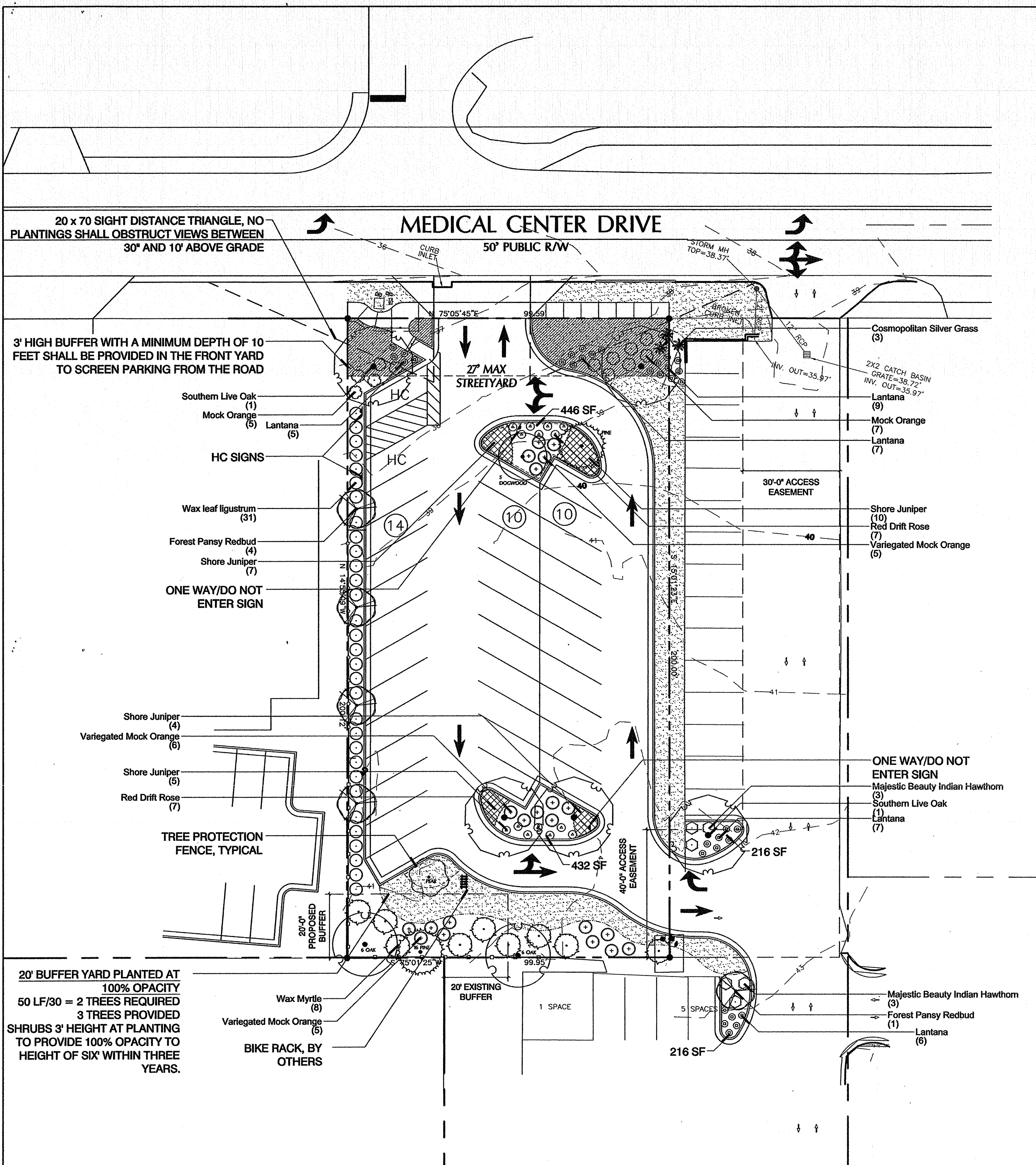
1429 ASH-LITTLE RIVER RD, NW  
ASH, NC 28420  
PHONE (910) 287-5800  
license #C-3641

16031  
DES. JST  
CRD. JPN  
DRWN. NKS  
DATE 6/22/16



C6





### PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT	QTY
	GERCIS C. "FOREST PANSY"™ / FOREST PANSY REDBUD	B & B	3" CAL	8' HT	5
	EXISTING DOGWOOD*	EXISTING			1
	EXISTING OAK	EXISTING			2
	EXISTING PEAR	EXISTING			1
	EXISTING PINE *	EXISTING			2
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK *	B & B	3" CAL	10-12' HT	5
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	SIZE	QTY	
	LANTANA C. "HAM AND EGGS" / LANTANA	1 QT	6-12" HT	34	
	LIGUSTRUM J. "RECURVIFOLIUM" / WAX LEAF LIGUSTRUM	7 GAL	30-36" HT	31	
	MISCANTHUS S. "COSMOPOLITAN" / COSMOPOLITAN SILVER GRASS	3 GAL	24-30" HT	3	
	MYRICA CERIFERA / WAX MYRTLE	10 GAL	4-5' HT	9	
	PITTOSPORUM T. "VARIEGATA" / VARIEGATED MOCK ORANGE	3 GAL	18-24" HT	21	
	PITTOSPORUM TOBIRA / MOCK ORANGE	7 GAL	36" HT	12	
	RHAPHOLEPIS I. "MAJESTIC BEAUTY"™ / MAJESTIC BEAUTY INDIAN HAWTHORN	3 GAL	24-36" HT	6	
	ROSA X "MEIGALPIO" / RED DRIFT ROSE	3 GAL	18-24" HT	14	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	
	JUNIPERUS CONFERTA / SHORE JUNIPER	3 GAL	42" o.c.	26	
SOD/SEED	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	
	EREMOCHLOA OPHUROIDES / CENTIPEDE SOD	SOD		4,089 SF	

\* DENOTES TREE USED IN PARKING LOT SHADE REQUIREMENTS

### SYMBOL LEGEND

- EXISTING TREE TO REMAIN WITH TREE PROTECTION FENCING
- STREETYARD PLANTING AREA
- EXISTING CHAIN LINK FENCE TO REMAIN
- EXISTING WOOD FENCE TO REMAIN

### SITE DATA

ADDRESS	1612 MEDICAL CENTER DRIVE, WILMINGTON, NC
PARCEL ID	R06011405-006-000
CURRENT USE	MEDICAL OFFICE
PROPOSED USE	NHRMC PARKING
EXISTING ZONING	O&I - OFFICE AND INSTITUTIONAL
PARCEL AREA	458 AC (19,960 SF)
CAMA LAND USE	URBAN

### LANDSCAPE REQUIREMENTS

<b>LANDSCAPE BUFFER</b> PLANTED AT 100% OPACITY	<b>REQUIRED</b> 20' ALONG MF-M BORDER 50 LF/30 = 2 TREES SHRUBS AT 3' HEIGHT MIN.	<b>PROVIDED</b> 20' ALONG MF-M BORDER 3 EXISTING TREES SHRUBS AT 3' HEIGHT MIN.
<b>PARKING LOT CANOPY COVERAGE</b> (10,179 SF X 20%)	2,035 SF, 3 TREES	6,363 SF 6 LARGE SHADE PROPOSED 3 EXISTING SHADE TREES
<b>STREET YARD PLANTING</b> PRIMARY STREETYARD MEDICAL CENTER DRIVE TREES REQUIRED	702 SF (89 LF X 18) 1 (1/600 SF)	1,006 SF 1 PROPOSED TREE
SHRUBS REQUIRED	6 (6/600 SF)	32 PROPOSED SHRUBS

**OVERALL LANDSCAPE REQUIREMENTS PER DISTURBED ACRE**

6% OF THE GROSS PARCEL AREA SHALL BE LANDSCAPED TO THE FOLLOWING STANDARDS:  
LANDSCAPED AREAS SHALL BE EVENLY LOCATED AROUND THE PERIMETER OF THE PARCEL

<b>TREES</b>	<b>REQUIRED</b> 3 TREES (1/15 PARKING SPACES)	<b>PROVIDED</b> 10 PROPOSED TREES 6 EXISTING TREES 16 TREES TOTAL
<b>SHRUBS</b>	18 SHRUBS (6/15 PARKING SPACES)	130 SHRUBS
<b>SHADE/CANOPY TREES</b>	50% OF TREES = SHADE/CANOPY TREES	100%

### CONDITIONS OF SPECIAL USE PERMIT

- THE APPLICANT SHALL FULLY COMPLY WITH ALL OF THE SPECIFIC REQUIREMENTS STATED IN THE LAND DEVELOPMENT CODE FOR THE PROPOSED USE AS WELL AS ANY ADDITIONAL CONDITIONS STATED BELOW.
- IF ANY SECTION, SUBSECTION, PARAGRAPH, SENTENCE, CLAUSE, PHRASE OR PORTION OF THIS PERMIT IS FOR ANY REASON HELD INVALID OR UNCONSTITUTIONAL BY ANY COURT OF COMPETENT JURISDICTION, THIS SPECIAL USE PERMIT SHALL BE NULL AND VOID AND OF NO EFFECT.
- THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE SITE PLAN AS SUBMITTED AND APPROVED.
- THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL OTHER SUPPLEMENTAL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE OR ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATION. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
- THE PERMIT SHALL BE LIMITED TO A 35-SPACE COMMERCIAL PARKING LOT THAT WOULD SERVE AS STAFF PARKING FOR NEW HANOVER REGIONAL MEDICAL CENTER. ANY FUTURE EXPANSIONS OR ADDITIONS TO THE SITE ARE SUBJECT TO MODIFICATIONS TO THE SUP.
- APPROVAL OF THIS SPECIAL USE PERMIT DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. ALL TECHNICAL REVIEW COMMITTEE COMMENTS SHALL BE FOLLOWED PRIOR TO ISSUANCE OF A CONSTRUCTION RELEASE OR FINAL ZONING APPROVAL.
- ALL CONDITIONS OF SEC. 18-258 SHALL BE MET PRIOR TO ISSUANCE OF CONSTRUCTION RELEASE.
- ALL CITY, STATE AND FEDERAL REGULATIONS SHALL BE MET.

**NOTES:**

- A THREE-FOOT HIGH, 10 FOOT WIDE BUFFER IS REQUIRED IN THE FRONT YARD.
- A LIGHTING PLAN SHALL BE PROVIDED SHOWING ALL OUTDOOR LIGHTING FIXTURES, TYPE AND WATTAGE. GLARE SHALL BE MINIMIZED THROUGH THE USE OF DIRECTIONAL FIXTURES.
- ACCESS THROUGH RESIDENTIAL AREAS IS PROHIBITED.
- THE STREETYARD REGULATIONS DEFINED IN THE CB ZONING DISTRICT APPLY.
- SIX (6) PERCENT OF THE GROSS PARCEL AREA SHALL BE LANDSCAPED TO THE FOLLOWING STANDARDS:
  - LANDSCAPED AREAS SHALL BE EVENLY LOCATED AROUND THE PERIMETER OF THE PARCEL
  - ONE (1) TREE AND (6) SHRUBS SHALL BE PLANTED FOR EVERY FIFTEEN (15) PARKING SPACES
  - FIFTY (50) PERCENT OF TREES SHALL BE OF A SHADE/CANOPY VARIETY AS DEFINED IN THIS CHAPTER

### GENERAL PLANTING NOTES

- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
- QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY. PLANS SHALL GOVERN.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
- ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL NOT BE ALLOWED.
- ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
- TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREE PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
- TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE LANDSCAPE ARCHITECT FOR DECISION ON PLACEMENT.
- ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 2" MIN. THK. MULCH AT BASE OF TRUNK.
- GROUND COVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUND COVER SHALL BE PLANTED AT 6" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
- MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
- ALL PLANTING AREAS SHALL BE MULCHED WITH PINESTRAW, EXCEPT FOR AREAS PLANTED WITH GROUND COVER. ALL AREAS PLANTED WITH GROUND COVER SHALL BE MULCHED WITH HARDWOOD MULCH.

**Approved Construction Plan**

Name: \_\_\_\_\_ Date: 7/7/16

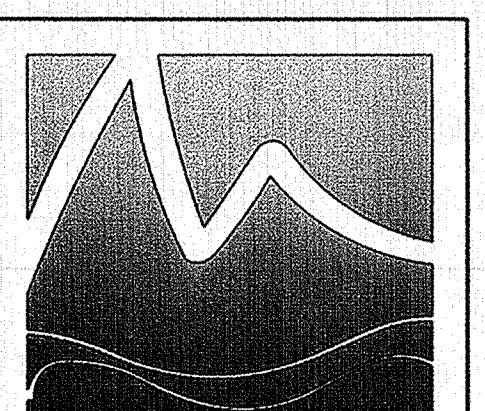
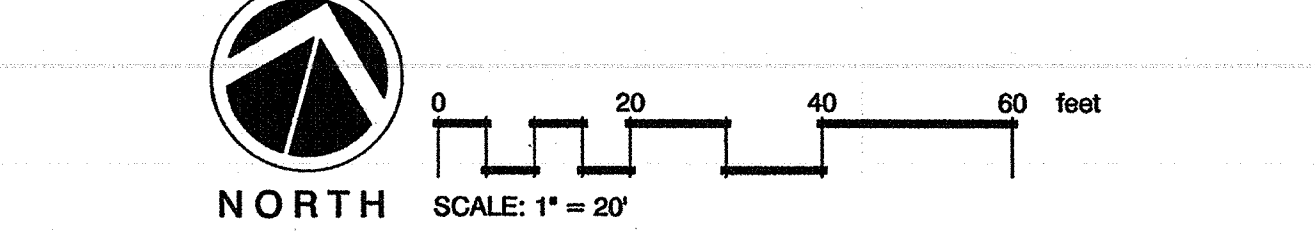
Planning: \_\_\_\_\_

Public Utilities: NA

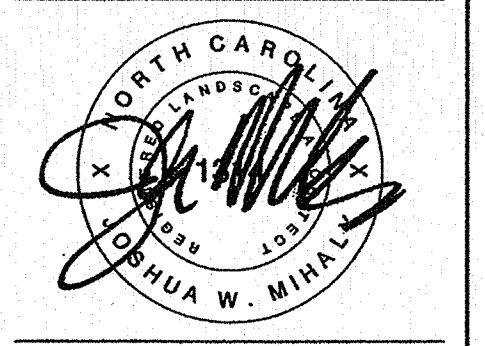
Traffic: \_\_\_\_\_ 7-5-16

Fire: \_\_\_\_\_ 7-7-16

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services/Engineering Division  
APPROVED DRAINAGE PLAN  
Date: 7-7-16 Permit # 2016022  
Signed: \_\_\_\_\_



**MIHALY**  
LAND DESIGN  
PLANNING + LANDSCAPE ARCHITECTURE  
330 MILITARY CUTOFF RD., Suite 43  
Wilmington, NC 28405 910.392.4355



**Revisions**  
2016-06-09: EXTENDED TREE PROTECTION FENCING WITH LANDSCAPE ISLANDS, ADDED SPECIAL USE PERMIT CONDITIONS, CONSTRUCTION STAMPS PER CITY REQUEST

**CLIENT**  
**NORRIS & TUNSTALL ENGINEERS**  
902 MARKET STREET  
WILMINGTON, NC 28401  
(910) 343-9653

**PROJECT**  
**NHRMC PARKING**  
1612 MEDICAL CENTER DRIVE  
WILMINGTON, NC  
LANDSCAPE PLANS

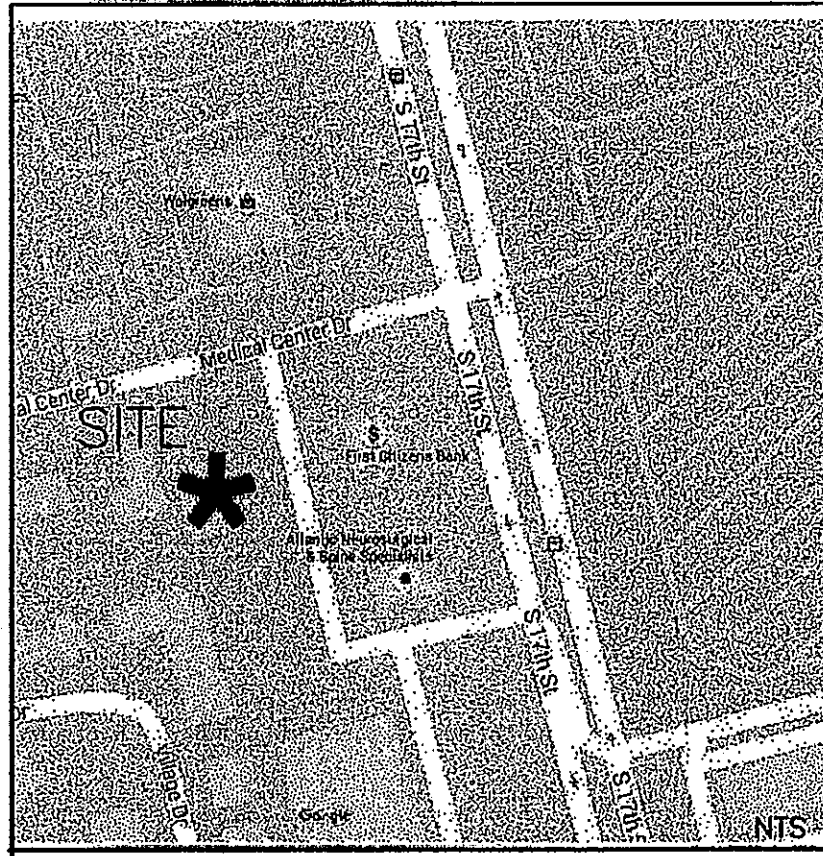
**CONSTRUCTION SET**

Date: 05/04/2016  
Phase: CD  
Job Number: 680-01

Designed by: MLD  
Drawn by: ALM  
Checked by: JWM

Sheet Title: LANDSCAPE PLAN

Sheet Number:  
**L1.1**  
of 1 sheets



VICINITY MAP

\*NOTE: EXISTING INV. IS FROM FIELD MEASUREMENT AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

PARCEL# R06011-002-018-000  
 ADDRESS: 2130 S 17TH ST  
 OWNER: CAMERON COMPANY LLC  
 USE: MEDICAL AND HEALTH  
 ZONE: CB-COMMUNITY BUSINESS

STANDARD C.O.W.  
 DRIVE ENTRANCE

CONVERT EX. CI TO A DROP INLET  
 TOP=35.90  
 INV.=EXIST.(32.9)\*

Medical Center Drive

5' CONCRETE SIDEWALK

ADA ACCESSIBLE RAMP AND PAVEMENT MARKINGS.

CI-1  
 GRATE=37.3  
 INV.=34.00

INSTALL TEMP. SILT FENCE. PROVIDE ADDITIONAL AS REQUIRED.

PARCEL# R06011-003-007-001  
 ADDRESS: 1510 MEDICAL CENTER DR.  
 OWNER: MEDICAL CTR DR ASSOCIATES LLC  
 USE: PHYSICIAN  
 ZONE: O&I-1 OFFICE & INSTITUTIONAL

DI-3  
 GRATE=37.52  
 INV.=34.20

EXIST. PARKING AREA AND BUILDING LOCATIONS WERE TAKEN BY FIELD MEASUREMENT AND AERIAL PHOTOGRAPHY.

DI-2  
 GRATE=40.6  
 INV.=37.5

PARCEL# R06011-003-002-000  
 ADDRESS: 1518 VILLAGE DR  
 OWNER: GLEN MEADE APARTMENTS LLC  
 ZONE: MF-M-MULTI FAMILY MED. DENSITY

N/V F  
 GLEN MEADE APARTMENTS, LLC  
 DB 5111-PG 2741

PARCEL# R06011-003-003-000  
 ADDRESS: 2216 S 17TH ST  
 OWNER: CANTERBURY CENTER, LLC  
 USE: COMMERCIAL OTHER SERVICES  
 ZONE: CB-COMMUNITY BUSINESS

PARCEL# R06011-003-005-000  
 ADDRESS: 2200 S 17TH ST  
 OWNER: FIRST CITIZENS BANK & TRUST CO.  
 USE: BANK  
 ZONE: CB-COMMUNITY BUSINESS

PARCEL# R06011-003-004-000  
 ADDRESS: 2208 S 17TH ST  
 OWNER: VAN BUREN PROPERTIES LLC  
 USE: MEDICAL AND HEALTH  
 ZONE: CB-COMMUNITY BUSINESS

CONDITIONS OF SPECIAL USE PERMIT

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4. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL OTHER SUPPLEMENTAL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE OR ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATION. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
5. THE PERMIT SHALL BE LIMITED TO A 35-SPACE COMMERCIAL PARKING LOT THAT WOULD SERVE AS STAFF PARKING FOR NEW HANOVER REGIONAL MEDICAL CENTER. ANY FUTURE EXPANSIONS OR ADDITIONS TO THE SITE ARE SUBJECT TO MODIFICATIONS TO THE SUP.
6. APPROVAL OF THIS SPECIAL USE PERMIT DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. ALL TECHNICAL REVIEW COMMITTEE COMMENTS SHALL BE FOLLOWED PRIOR TO ISSUANCE OF A CONSTRUCTION RELEASE OR FINAL ZONING APPROVAL.
7. ALL CONDITIONS OF SEC. 18-258 SHALL BE MET PRIOR TO ISSUANCE OF CONSTRUCTION RELEASE.
8. ALL CITY, STATE AND FEDERAL REGULATIONS SHALL BE MET.

PERMEABLE PAVEMENT CONSTRUCTION SEQUENCE:

The following is a typical construction sequence to properly install pervious concrete. The means and methods of installation shall be determined by the contractor and shall be installed per the manufacturer recommendations, product standards and industry guidelines.

Step 1. Construction of the permeable pavement shall only begin after the entire contributing drainage area has been stabilized. The proposed site should be checked for existing utilities prior to any excavation. Do not install the system in rain or snow.

Step 2. Temporary erosion and sediment (E&S) controls (silt fence) are needed during installation to divert stormwater away from the permeable pavement area until it is completed. The proposed permeable pavement area must be kept free from sediment during the entire construction process. Construction materials that are contaminated by sediments must be removed and replaced with clean materials.

Step 3. Where possible, excavators or backhoes should work from the sides to excavate the aggregate layer to its appropriate design depth and dimensions.

Step 4. In-situ soil testing shall be done after excavation to verify existing infiltration rate. Soils testing shall be conducted by an appropriately qualified professional, the testing can be done by the contractor, the designer, or a third party hired by owner. The results of the testing shall be given to the designer of record for review. If results show a lower infiltration rate than the rate of design the depth of aggregate must be revised.

Step 5. The native soils along the bottom and sides of the permeable pavement system should be scarified or tilled to a depth of 3 to 4 inches prior to the placement of the filter layer or filter fabric.

Step 6. Filter fabric should be installed on the bottom and the sides of the aggregate layer.

Step 7. Place observation wells as shown on plans.

Step 8. Inspect all aggregate prior to placement. Ensure aggregate is clean, free of fines and conform to the plans and specifications. All aggregate shall be spread (not dumped), moisten and spread the washed stone without driving on the soil subgrade, being careful not to damage the observation wells. Follow compaction recommendations by the permeable pavement manufacturer or that from industry guidelines.

Step 9. Ensure edge restraints and barriers between permeable pavement are installed per design.

Step 10. Contractor is to follow standard installation procedures for the specific type of pervious pavement that is being installed. For this project pervious concrete will be installed. Only certified and experienced contractors shall install the pervious concrete and installation shall be per the manufacturer recommendations, product standards and industry guidelines. Pervious concrete shall be constructed in accordance with the latest version of ACI 622.1, Specifications for Pervious Concrete.

Step 11. After installation, protect the installed pervious concrete until project completion, including routing construction traffic away from the installed pervious concrete. Contractor shall provide protection techniques including mats, plastic sheeting and barriers to ensure the pervious concrete remains protected until project completion.

NOTES:

1. A THREE-FOOT HIGH, 10 FOOT WIDE BUFFER IS REQUIRED IN THE FRONT YARD.
2. A LIGHTING PLAN SHALL BE PROVIDED SHOWING ALL OUTDOOR LIGHTING FIXTURES, TYPE AND WATTAGE. GLARE SHALL BE MINIMIZED THROUGH THE USE OF DIRECTIONAL FIXTURES.
3. ACCESS THROUGH RESIDENTIAL AREAS IS PROHIBITED.
4. THE STREETYARD REGULATIONS DEFINED IN THE CB ZONING DISTRICT APPLY.
5. SIX (6) PERCENT OF THE GROSS PARCEL AREA SHALL BE LANDSCAPED TO THE FOLLOWING STANDARDS:

- LANDSCAPED AREAS SHALL BE EVENLY LOCATED AROUND THE PERIMETER OF THE PARCEL
- ONE (1) TREE AND (6) SHRUBS SHALL BE PLANTED FOR EVERY FIFTEEN (15) PARKING SPACES
- FIFTY (50) PERCENT OF TREES SHALL BE OF A SHADE/CANOPY VARIETY AS DEFINED IN THIS CHAPTER

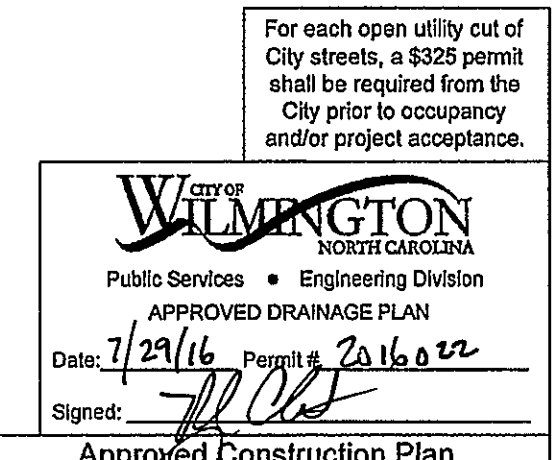
ED SITE DATA TABLE

CURRENT USE: PROPOSED USE: SITE ADDRESS: PARCEL ID#: MAP ID#: PARCEL AREA: ZONING: CAMA LAND USE: SOILS: PARCEL NOT LOCATED WITHIN 100 YEAR FLOOD ZONE	MEDICAL OFFICE NHRMC PARKING 1612 MEDICAL CENTER DR. R06011-003-006-000 31281-07.0161.000 0.458 AC (19,960) SF O&I-1 OFFICE AND INSTITUTIONAL URBAN KUREB-HYDROLOGIC SOIL GROUP "A"
BUILDING SETBACKS: (REQUIRED)	FRONT SETBACK: 20' INTERIOR SIDE SETBACK: 10' CORNER SIDE SETBACK: 20' REAR SETBACKS: 20'
BUFFER REQUIRED: STREETYARD REQUIRED:	20' ALONG MF-M BORDER 18 MULTIPLIER
OFF-SITE PARKING FOR NHRMC PARKING REQUIREMENT HOSPITAL: 1 PER EACH 2 LICENSED BEDS INTENDED FOR PATIENT USE, 1 PER EACH STAFF PERSON INCLUDING MEDICAL AND SUPPORT STAFF BASED ON THE LARGEST EMPLOYEE SHIFT. -NO NEW BEDS -NO NEW EMPLOYEES -NO EXISTING PARKING	
PARKING PROPOSED: 34 SPACES HC SPACES REQUIRED: 2 SPACES HC SPACES PROPOSED: 2 SPACES BICYCLE PARKING REQUIRED: 5 BICYCLE PARKING PROPOSED: 5	
EXISTING IMPERVIOUS AREA:	BUILDING: 5,300 SF SIDEWALK: 1,452 SF ASPHALT/CONC./C&G: 3,950 SF
TOTAL: PERCENT IMP.:	10,702 SF (ALL TO BE REMOVED) 53.61%
PROPOSED IMPERVIOUS AREA:	ASPHALT/CONC./C&G: 8,284 SF SIDEWALK ON SITE: 116 SF PERVIOUS PAVEMENT: 1,480 SF (AFTER 75% CREDIT 5,917 SF X 0.25)
TOTAL ON SITE: PERCENT IMP.:	9,880 SF 49.49%
ASPHALT REMOVED OFF SITE: 950 SF ASPHALT, CONCRETE, CURB AND GUTTER ADDED OFF SITE: 942 SF NO TRASH REMOVAL SERVICE PROVIDED AS PART OF PARKING LOT PROJECT	

LEGEND

--- 80 --- 80 --- 80 ---	PROPERTY LINE
--- 30 --- 30 --- 30 ---	PROPOSED STORMDRAIN PIPE
○	SPOT ELEVATION AT FLOWLINE OF CURB. (TOP OF CURB +6")
○	DROP INLET WITH INLET PROTECTION (DI)
○	CURB INLET WITH INLET PROTECTION (CI)
○	EXISTING TREE TO BE SAVED AND PROTECTED
○	EXISTING TREE TO BE REMOVED
--- TP --- TP --- TP --- TP --- TP ---	TREE PROTECTION FENCING

SCALE: 1" = 20'



NC DENR PWSS WATER PERMIT #:	
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEE:	YES OR NO (CIRCLE ONE)

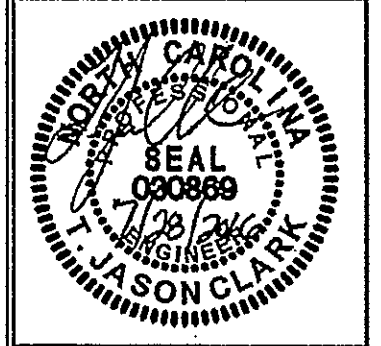
BY	REVISIONS	DATE	DESCRIPTION
R1	7-28-16	REVISED SITE LIGHTING	

GRADING, DRAINAGE AND EROSION CONTROL PLAN  
 NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR  
 1612 MEDICAL CENTER DRIVE  
 WILMINGTON, N. C.

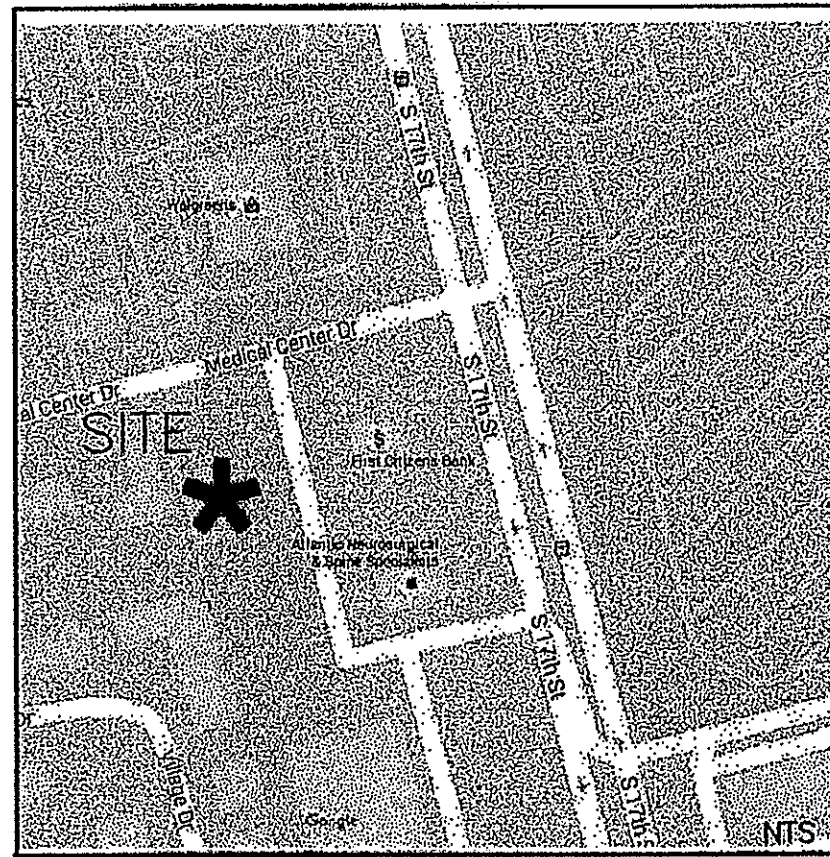
OWNER/DEVELOPER  
 NHRMC  
 P.O. BOX 9000  
 WILMINGTON, NC 28402  
 910 943-2788

NORRIS & TUNSTALL  
 CONSULTING ENGINEERS, P.C.  
 1429 ASH-LITTLE RIVER RD, NW  
 WILMINGTON, NC 28420  
 PHONE (910) 343-9653  
 LICENSE #C-35641

16031  
 DES. JST  
 CKD. JPN  
 DRWN. NKS  
 DATE 6/30/16



C2



VICINITY MAP

PARCEL# R06011-002-018-000  
 ADDRESS: 2130 S 17TH ST  
 OWNER: CAMERON COMPANY LLC  
 USE: MEDICAL AND HEALTH  
 ZONE: CB-COMMUNITY BUSINESS

STANDARD C.O.W.  
 DRIVE ENTRANCE

INSTALL NEW CURB AND  
 GUTTER, MATCH EXIST.

A 3 FOOT HIGH BUFFER WITH A MIN. DEPTH  
 OF 10 FEET SHALL BE PROVIDED IN THE  
 FRONT YARD TO SCREEN PARKING AREAS  
 FROM THE ROAD.

NEW 5' CONCRETE  
 SIDEWALK

PEDESTRIAN ACCESS  
 EASEMENT

20'X70' SIGHT TRIANGLE

A 3 FOOT HIGH BUFFER WITH A MIN. DEPTH  
 OF 10 FEET SHALL BE PROVIDED IN THE  
 FRONT YARD TO SCREEN PARKING AREAS  
 FROM THE ROAD.

HC SIGNS, RAMP, AND  
 CROSSWALK MARKINGS

PARCEL# R06011-003-007-001  
 ADDRESS: 1510 MEDICAL CENTER DR.  
 OWNER: MEDICAL CTR DR ASSOCIATES LLC  
 USE: PHYSICIAN  
 ZONE: O&I-1 OFFICE & INSTITUTIONAL

\*OBSERVATION  
 WELL, TYP.

ASPHALT PAVEMENT  
 SEE DETAIL

\*NOTE: (1) OBSERVATION WELL  
 REQUIRED IN EACH TERRACE IF  
 PERVIOUS CONCRETE BASE IS  
 TERRACED.

PERVIOUS CONCRETE  
 SEE DETAIL

NEW LANDSCAPE  
 AREA 432± SF

EXIST. PARKING AREA AND  
 BUILDING LOCATIONS WERE  
 TAKEN BY FIELD MEASUREMENT  
 AND AERIAL PHOTOGRAPHY.

ONE WAY/DO NOT  
 ENTER SIGN  
 30' ACCESS  
 EASEMENT  
 NEW LANDSCAPE  
 AREA 446± SF

PROPOSED SIGHT LIGHTING SHALL UTILIZE  
 EXISTING POWERED SERVICE POLES. DUKE  
 ENERGY SHALL INSTALL NEW LED LIGHTING  
 TO REPLACE THE EXISTING LIGHTING. LIGHTS  
 SHALL BE DESIGNED TO DIRECT LIGHT ONTO  
 SITE AND NOT ONTO ADJACENT PROPERTIES.  
 PROPOSED LIGHTS SHALL HAVE 90° CUT  
 OFF BEHIND LIGHT.

24" CURB AND  
 GUTTER, TYP.

1' CONCRETE BARRIER TO PROVIDE SEPARATION  
 BETWEEN PERVIOUS PAVEMENT AND ASPHALT.  
 BARRIERS SHALL BE THE DEPTH OF THE  
 AGGREGATE LAYER MINIMUM. INSTALL PER  
 PERVIOUS PAVEMENT MANUFACTURERS  
 RECOMMENDATIONS.

PARCEL# R06011-003-005-000  
 ADDRESS: 2200 S 17TH ST  
 OWNER: FIRST CITIZENS BANK & TRUST CO.  
 USE: BANK  
 ZONE: CB-COMMUNITY BUSINESS

ONE WAY/DO NOT  
 ENTER SIGN

NEW LANDSCAPE  
 AREA 216± SF

PARCEL# R06011-003-004-000  
 ADDRESS: 2208 S 17TH ST  
 OWNER: VAN BUREN PROPERTIES LLC  
 USE: MEDICAL AND HEALTH  
 ZONE: CB-COMMUNITY BUSINESS

PARCEL# R06011-003-002-000  
 ADDRESS: 1518 VILLAGE DR  
 OWNER: GLEN MEADE APARTMENTS LLC  
 ZONE: MF-M-MULTI FAMILY MED. DENSITY

GLEN MEADE APARTMENTS, LLC  
 DB 5111 PG 2741

BICYCLE PARKING  
 5 MIN.

NEW LANDSCAPE  
 AREA 216± SF

PARCEL# R06011-003-003-000  
 ADDRESS: 2216 S 17TH ST  
 OWNER: CANTERBURY CENTER, LLC  
 USE: COMMERCIAL OTHER SERVICES  
 ZONE: CB-COMMUNITY BUSINESS

CANTERBURY CENTER, LLC  
 DB 4153 PG 0180

17TH STREET  
 150' PUBLIC ROW

TREE REMOVAL TABLE	
REGULATED TREES REMOVED:	
(10) PINES	
(1) DOGWOOD	
(2) OAKS	
NO SIGNIFICANT TREES EXIST ON SITE	

- PERVIOUS PAVEMENT NOTES:
1. RUNOFF FROM ADJOINING PERVIOUS PAVEMENT AREAS SHALL BE DIRECTED AWAY FROM THE PERVIOUS PAVEMENT TO THE HIGHEST EXTENT POSSIBLE.
  2. EDGE RESTRAINTS SHALL BE PROVIDED TO SEPARATE PERVIOUS PAVEMENT FROM ASPHALT PAVEMENT.
  3. PERVIOUS PAVEMENT SIGNAGE SHALL BE CLEARLY POSTED TO PREVENT USE BY INAPPROPRIATE VEHICLES AND THE DEPOSITION AND STORAGE OF PARTICULATE MATTER.
  4. PERVIOUS PAVEMENT SHALL BE PERVIOUS CONCRETE (PC). FOR PC THE MIX DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF ACI 522.1. INSTALLATION OF PERVIOUS PAVEMENT SHALL ONLY BE DONE BY CERTIFIED AND QUALIFIED CONTRACTORS.

For each open utility cut of  
 City streets, a \$325 permit  
 shall be required from the  
 City prior to occupancy  
 and/or project acceptance.

City of WILMINGTON  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN

Date: 7/22/16 Permit #: 2016022  
 Signed: [Signature]

Approved Construction Plan  
 Name: [Signature] Date: 7/22/16  
 Planning: [Signature] Date: 7/22/16  
 Traffic: [Signature] Date: 7/22/16  
 File: [Signature] Date: 7/22/16

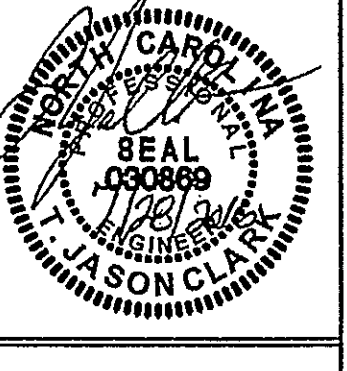
NC DENR PWS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWD SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

LAYOUT PLAN  
 AND TREE REMOVAL PLAN  
 NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR  
 1612 MEDICAL CENTER DRIVE  
 WILMINGTON, N. C.

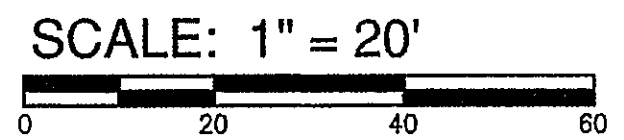
OWNER/DEVELOPER  
 NHRMC  
 PO BOX 9000  
 WILMINGTON, NC 28402  
 910 343-2788

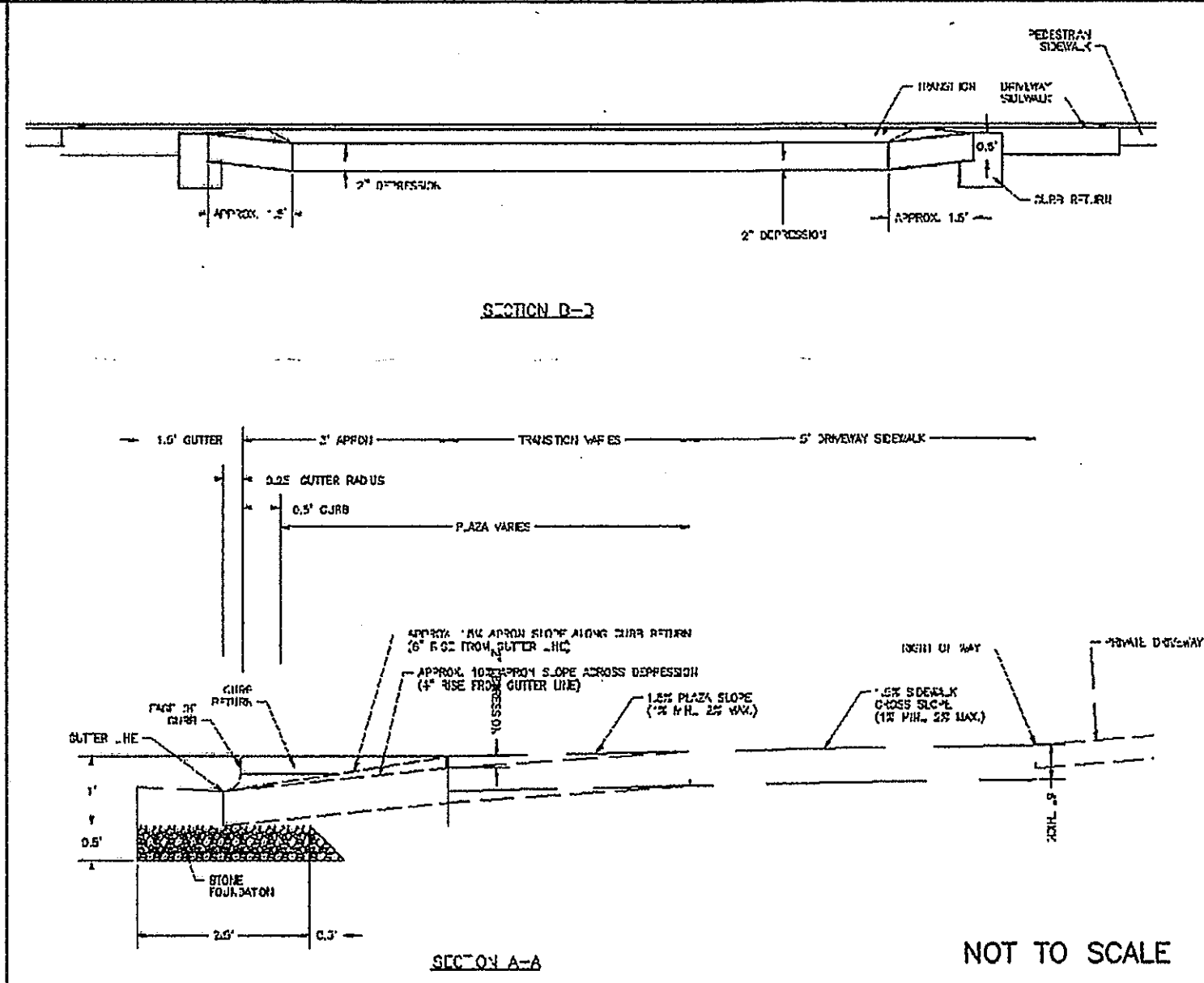
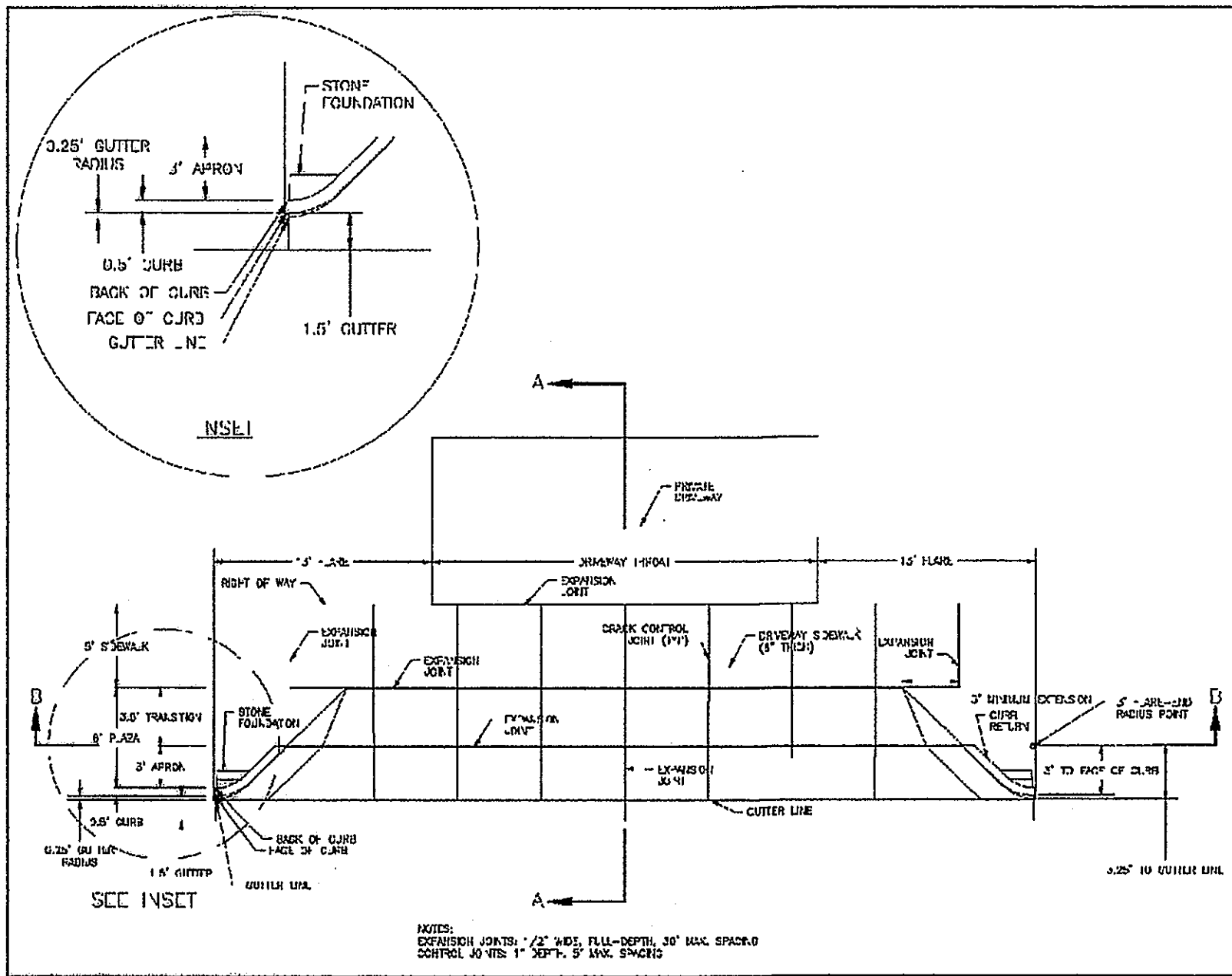
NORRIS & TUNSTALL  
 CONSULTING ENGINEERS, P.C.  
 1429 ASH-LITTLE RIVER RD, NW  
 WILMINGTON, NC 28401  
 PHONE (910) 287-5900  
 LICENSE #0-3641

16031  
 DES. JST  
 CKD. JPN  
 DRWN. NKS  
 DATE 6/22/16

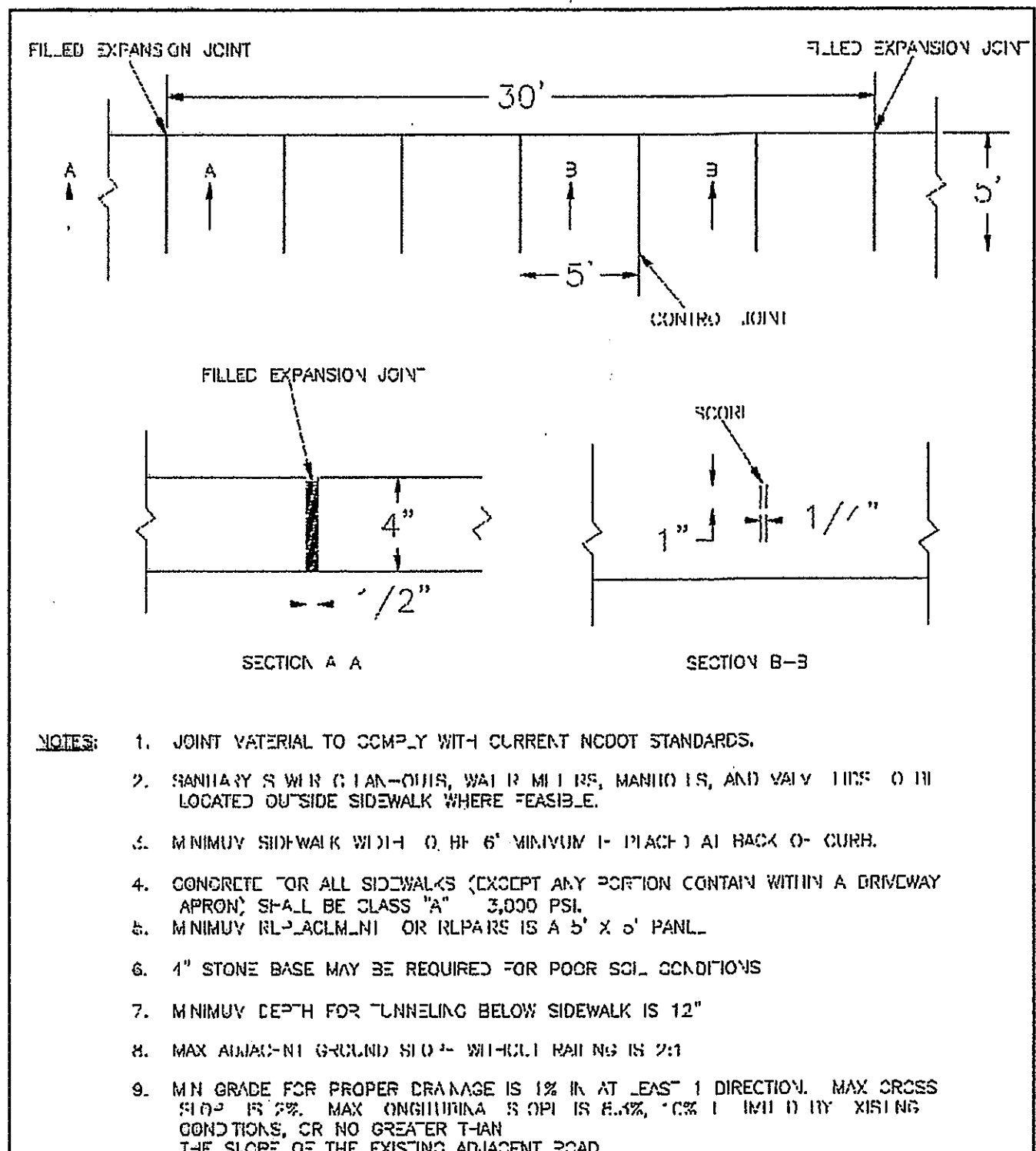


C3





STANDARD CITY OF WILMINGTON DRIVE WAY DETAIL



STANDARD SIDEWALK DETAIL NOT TO SCALE

SERVICE ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CFPWA SEWER - CFPWA MUST INSPECT THE CAPPED SEWER SERVICE LINE (SEE DETAIL BELOW). THIS INSPECTION MUST BE COMPLETED BEFORE ANY PERMIT IS ISSUED BY NHC INSPECTIONS.

PRIVATELY TREATED SEWER OR SEPTIC TANK - CFPWA ENGINEERING DOES NOT REQUIRE A CFPWA INSPECTION.

CSR: \_\_\_\_\_  
DATE: \_\_\_\_\_

NOTES:  
1. GLUE CAPS MUST BE INSTALLED 24" FROM THE CLEAN OUT, ON THE PROPERTY OWNER'S SIDE, AND LEFT EXPOSED UNTIL ENGINEERING INSPECTS AND APPROVES SEWER CAP-OFF.  
2. NO FEE FOR INITIAL INSPECTION. RE-INSPECTION FEE IS APPLICABLE FOR EACH RE-INSPECTION.

PIPE MATERIAL:  
SCH. 40, SOLVENT WELD PVC 1120, ASTM D-1785  
GLUED CAPS REQUIRED ON EACH END

CFPWA REQUIRES A TWO BUSINESS DAY NOTICE PRIOR TO SCHEDULING AN INSPECTION. PLEASE CONTACT CFPWA CUSTOMER SERVICE AT (910) 332-6550 TO SCHEDULE THE INSPECTION.

I ACKNOWLEDGE RECEIPT OF THIS DOCUMENT DESIGNATING PROPER PROCEDURES FOR CAPPING THE SEWER SERVICE FOR DEMOLITION PURPOSES. OWNER MUST PROVIDE ACKNOWLEDGEMENT LETTER THAT THE CONTRACTOR IS THEIR DESIGNEE.

DATE: \_\_\_\_\_ CONTRACTOR/ OWNER'S SIGNATURE: \_\_\_\_\_ CONTACT PHONE NUMBER: \_\_\_\_\_

SHEET TITLE: **SEWER TERMINATION FOR DEMOLITION PERMITS**

SCALE: NOT TO SCALE CFPWA DETAIL DATE: 02/28/16

CAPE FEAR PUBLIC UTILITY AUTHORITY  
235 GOVERNMENT CENTER DRIVE  
WILMINGTON, NC 28403  
OFFICE: (910)332-6560

Stewardship. Sustainability. Service.

SERVICE ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CFPWA WATER - CFPWA MUST INSPECT THE CAPPED WATER SERVICE LINE (SEE DETAIL BELOW). THIS INSPECTION MUST BE COMPLETED BEFORE ANY PERMIT IS ISSUED BY NHC INSPECTIONS. CUSTOMER MAY REQUEST THE METER TO BE PULLED IF THE SITE IS NOT TO BE REDEVELOPED. NOTE TO CUSTOMER SERVICE: ISSUE SERVICE ORDER FOR REMOVAL OF CFPWA METER, IF REQUESTED.

PRIVATE WELL OR PRIVATELY OWNED COMMUNITY WATER - CFPWA ENGINEERING DOES NOT REQUIRE A CFPWA INSPECTION.

CSR: \_\_\_\_\_  
DATE: \_\_\_\_\_

NOTES:  
1. CAPS MUST BE INSTALLED 24" FROM THE BACK SIDE OF THE METER BOX, ON THE PROPERTY OWNER'S SIDE, AND LEFT EXPOSED UNTIL ENGINEERING INSPECTS AND APPROVES WATER CAP-OFF.  
2. NO FEE FOR INITIAL INSPECTION. RE-INSPECTION FEE IS APPLICABLE FOR EACH RE-INSPECTION.

CFPWA REQUIRES A TWO BUSINESS DAY NOTICE PRIOR TO SCHEDULING AN INSPECTION. PLEASE CONTACT CFPWA CUSTOMER SERVICE AT (910) 332-6550 TO SCHEDULE THE INSPECTION.

I ACKNOWLEDGE RECEIPT OF THIS DOCUMENT DESIGNATING PROPER PROCEDURES FOR CAPPING THE SEWER SERVICE FOR DEMOLITION PURPOSES. OWNER MUST PROVIDE ACKNOWLEDGEMENT LETTER THAT THE CONTRACTOR IS THEIR DESIGNEE.

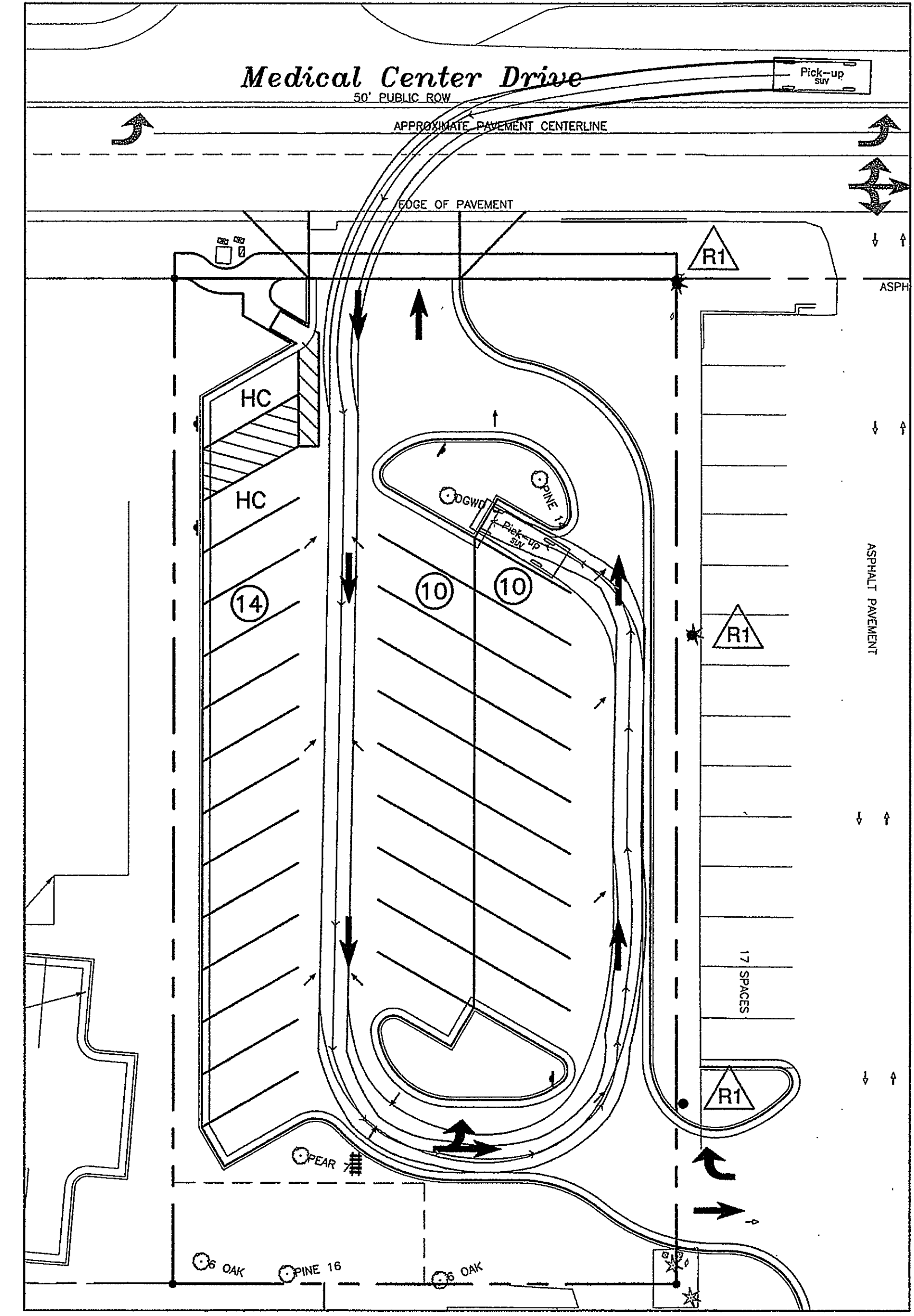
DATE: \_\_\_\_\_ CONTRACTOR/ OWNER'S SIGNATURE: \_\_\_\_\_ CONTACT PHONE NUMBER: \_\_\_\_\_

SHEET TITLE: **WATER TERMINATION FOR DEMOLITION PERMITS**

SCALE: NOT TO SCALE CFPWA DETAIL DATE: 02/28/16

CAPE FEAR PUBLIC UTILITY AUTHORITY  
235 GOVERNMENT CENTER DRIVE  
WILMINGTON, NC 28403  
OFFICE: (910)332-6560

Stewardship. Sustainability. Service.



PICK-UP TRUCK PARKING EXHIBIT  
SCALE: 1"=20'

Outdoor Lighting  
Straight LED

Light source: LED (white)  
Lumens: 15,620 (for e1)

Wattage	Light Pattern	BUG Rating
LED 205	IESNA Type V	94-U0-G2
LED 205	IESNA Type IV	82-U0-G3
LED 205	IESNA Type III	82-U0-G2

Color temperature: 4,000K  
Warm-up and restrike time: Instant on (no warm-up or restrike time)

PROPOSED: SIGHT LIGHTING SHALL UTILIZE EXISTING POWERED SERVICE POLES. DUKE ENERGY SHALL INSTALL NEW LED LIGHTING TO REPLACE THE EXISTING LIGHTING. LIGHTS SHALL BE DESIGNED TO DIRECT LIGHT ONTO SITE AND NOT ONTO ADJACENT PROPERTIES. PROPOSED LIGHTS SHALL HAVE 90° CUT OFF BEHIND LIGHT.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN

Date: 7/28/16 Permit #: 2016022

Approved Construction Plan

Planing: \_\_\_\_\_ Date: 7/28/16  
Traffic: \_\_\_\_\_ Date: 7/28/16  
File: \_\_\_\_\_ Date: 7/28/16

NOCDNR PWSS WATER PERMIT #: \_\_\_\_\_ GPD  
WATER CAPACITY: \_\_\_\_\_ GPD  
DWQ SEWER PERMIT #: \_\_\_\_\_ GPD  
SEWER CAPACITY: \_\_\_\_\_ GPD  
SEWER SIZED # AND PLANT: \_\_\_\_\_  
SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

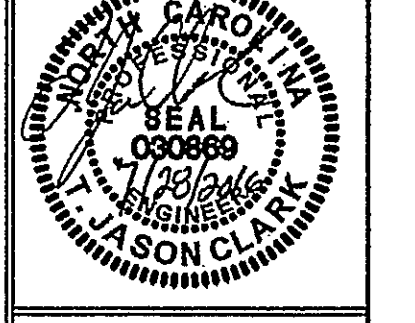
7.28.16	REVISED SITE LIGHTING	BY
R1	SYMBOL	DESCRIPTION
	DATE	REVISIONS

NOTES AND DETAILS  
NHRMC ADDITIONAL PARKING-MEDICAL CENTER DR.  
1612 MEDICAL CENTER DRIVE  
WILMINGTON, N. C.

OWNER/DEVELOPER  
NHRMC  
PO BOX 9000  
WILMINGTON, NC 28402  
910 343-2788

NORRIS & TUNSTALL  
CONSULTING ENGINEERS, P.C.  
1429 ASH-LITTLE RIVER RD. NW  
ASH, NC 28401  
PHONE (910) 343-9653  
license #C-3641

16031  
DES. JST  
CDR. JFN  
DRWN. NKS  
DATE 6/22/16



C6